



The Moray Council Council Office High Street Elgin IV30 1BX Tel: 0300 1234561 Email: development.control@moray.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100158210-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Dwelling House & Garage

Is this a temporary permission? * Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) * Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Ken Mathieson Architectural Design Ltd	
Ref. Number:	IW	You must enter a Building Name or Number, or both: *
First Name: *	Stuart	Building Name: Mansard House
Last Name: *	Mathieson	Building Number: 15
Telephone Number: *	01224 710357	Address 1 (Street): * Oldmeldrum Road
Extension Number:		Address 2: Bucksburn
Mobile Number:		Town/City: * Aberdeen
Fax Number:		Country: * Scotland
		Postcode: * AB21 9AD
Email Address: *	stuart@kenmathieson.com	

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *
Other Title:		Building Name: C/O AGENT
First Name: *	Iain	Building Number:
Last Name: *	Whitecross	Address 1 (Street): * Oldmeldrum Road
Company/Organisation		Address 2:
Telephone Number: *		Town/City: * Aberdeen
Extension Number:		Country: * Scotland
Mobile Number:	07500 902 824	Postcode: * AB21 9AD
Fax Number:		
Email Address: *		

Site Address Details

Planning Authority:

Moray Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Northing

844263

Easting

323834

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

4355.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

ground for horse grazing / training

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? * Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

4

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

7

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? *

- New/Altered septic tank.
 Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).
 Other private drainage arrangement (such as chemical toilets or composting toilets).

What private arrangements are you proposing for the New/Altered septic tank? *

- Discharge to land via soakaway.
 Discharge to watercourse(s) (including partial soakaway).
 Discharge to coastal waters.

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: *

see drainage impact assessment

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

bin store noted on site plan

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

How many units do you propose in total? *

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? * Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? * Yes No

Is any of the land part of an agricultural holding? * Yes No

Do you have any agricultural tenants? * Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate E

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate E

I hereby certify that –

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants

Or

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants.

Name:

Address:

Date of Service of Notice: *

(4) – I have/The applicant has taken reasonable steps, as listed below, to ascertain the names and addresses of the other owners or agricultural tenants and *have/has been unable to do so –

Signed: Stuart Mathieson

On behalf of: Mr Iain Whitecross

Date: 21/03/2019

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | | |
|--|---|---|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Stuart Mathieson

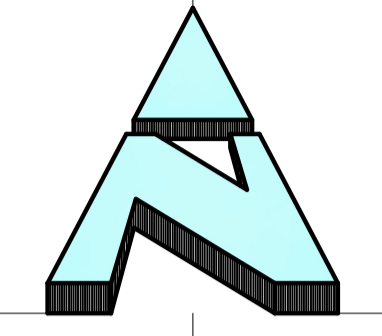
Declaration Date: 21/03/2019

Payment Details

Cheque: Applicant to pay fee direct, 0

Created: 21/03/2019 11:05

Amendments	Date
A First Issue	Oct. 18
B Updated Layout	Jan. 19
C Updated Layout	Feb. 19
D Updated Layout	Mar. 19



- EXISTING BOUNDARY PLANTING TO BE RETAINED
- 3M x 5.4M x 1.5M SURFACE WATER SOAKAWAY
- FOUL TREATMENT PLANT
- 7.2M x 10M FOUL WATER SOAKAWAY
- GRASS GARDEN GROUND

- FINISHES:-**
- ROOF: NATURAL SLATE
 - WALLS: ROUGHCAST BLOCKWORK
 - BASECOURSE: SMOOTH CEMENT PLASTER RENDER
 - GARAGE DOOR: GREY STEEL
 - RAINWATER ROOFS: BLACK UPVC DEEP FLOW
 - FASCIA & SOFFIT: WHITE PVC

kenmathieson
 ARCHITECTURAL DESIGN
 & DEVELOPMENT CONSULTANT LTD.
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 E-MAIL: info@kenmathieson.com

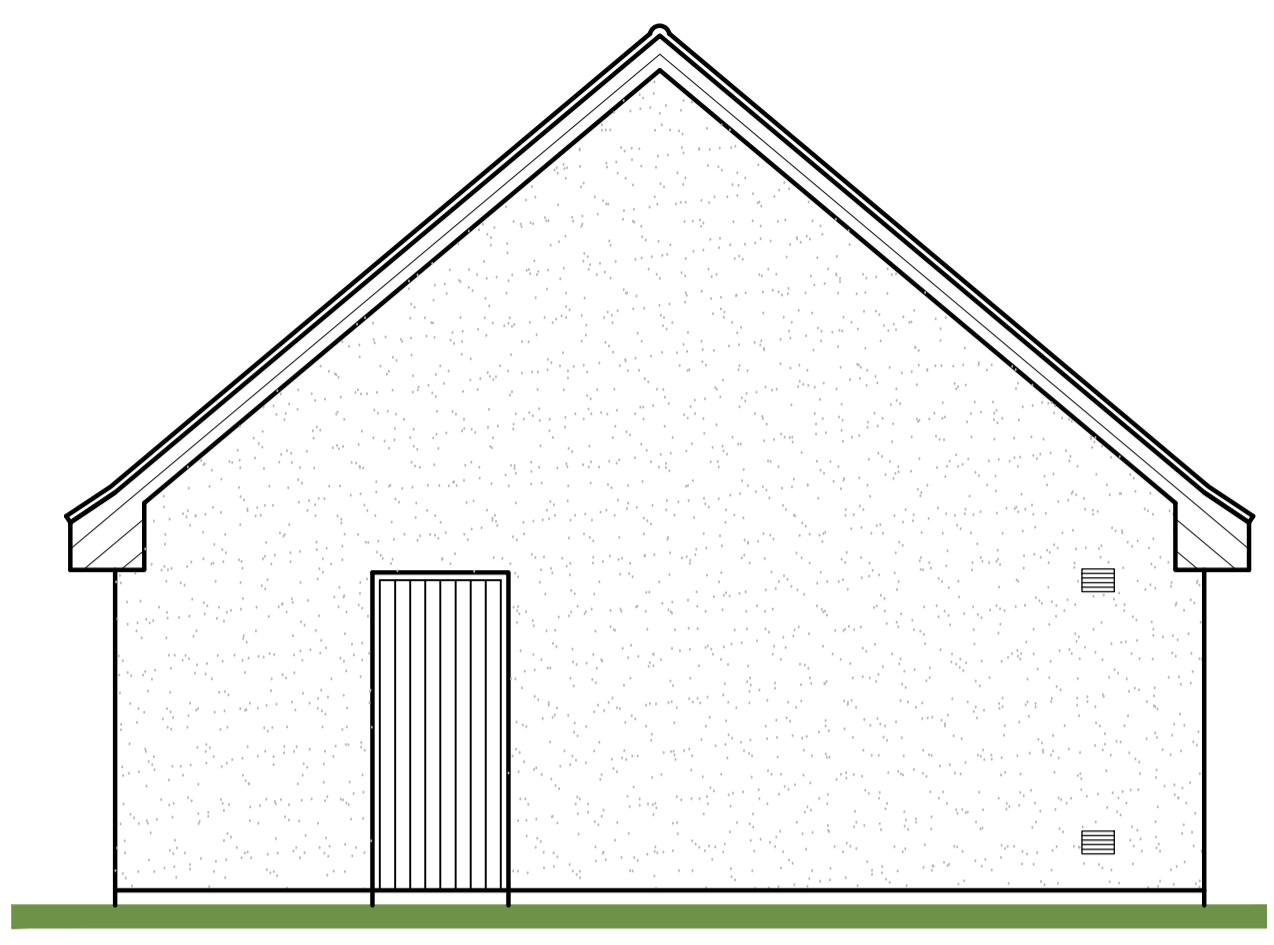
DOMESTIC, COMMERCIAL & INDUSTRIAL			
Client	Mr & Mrs Iain Whitecross		
Project	Proposed Dwelling House & Garage at Site "The Maltings" at Cairnvoie Farm, Archiestown, Moray		
Title	Proposed Garage & Part Site Plan		
Scale	As Shown	There	Oct. 18
Drawn by	IW	English	002
Checked by			D



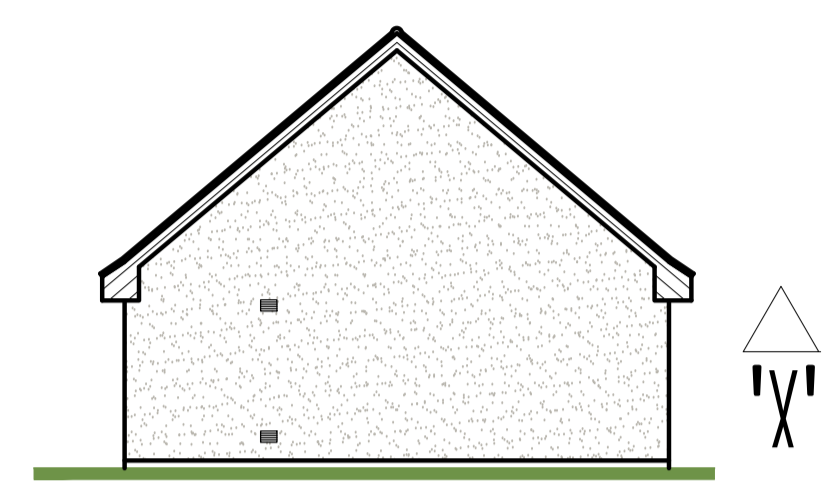
EXISTING BOUNDARY PLANTING TO BE RETAINED

EXISTING TIMBER POSTS BOUNDARY FENCES TO BE RETAINED

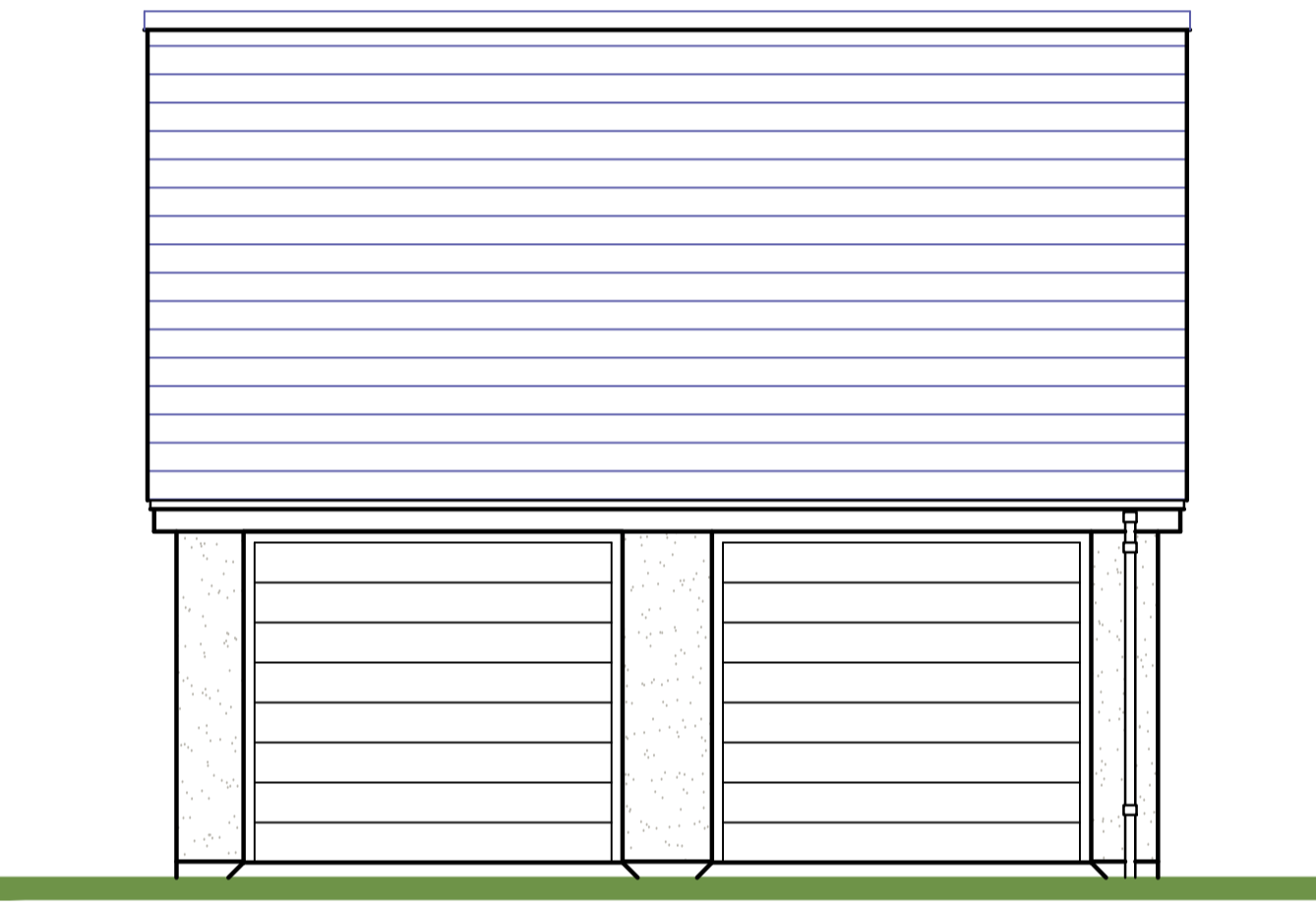
EXISTING TIMBER POSTS BOUNDARY FENCES TO BE RETAINED



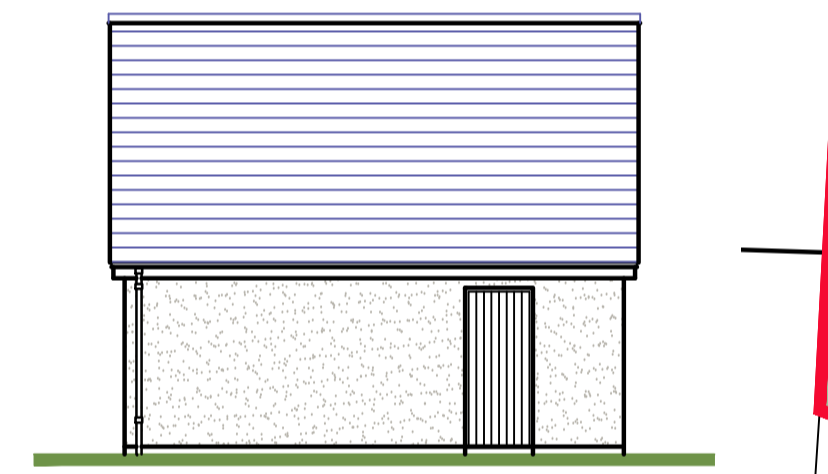
PROPOSED SIDE ELEVATION (WEST FACING)
 SCALE 1:50 @ A1



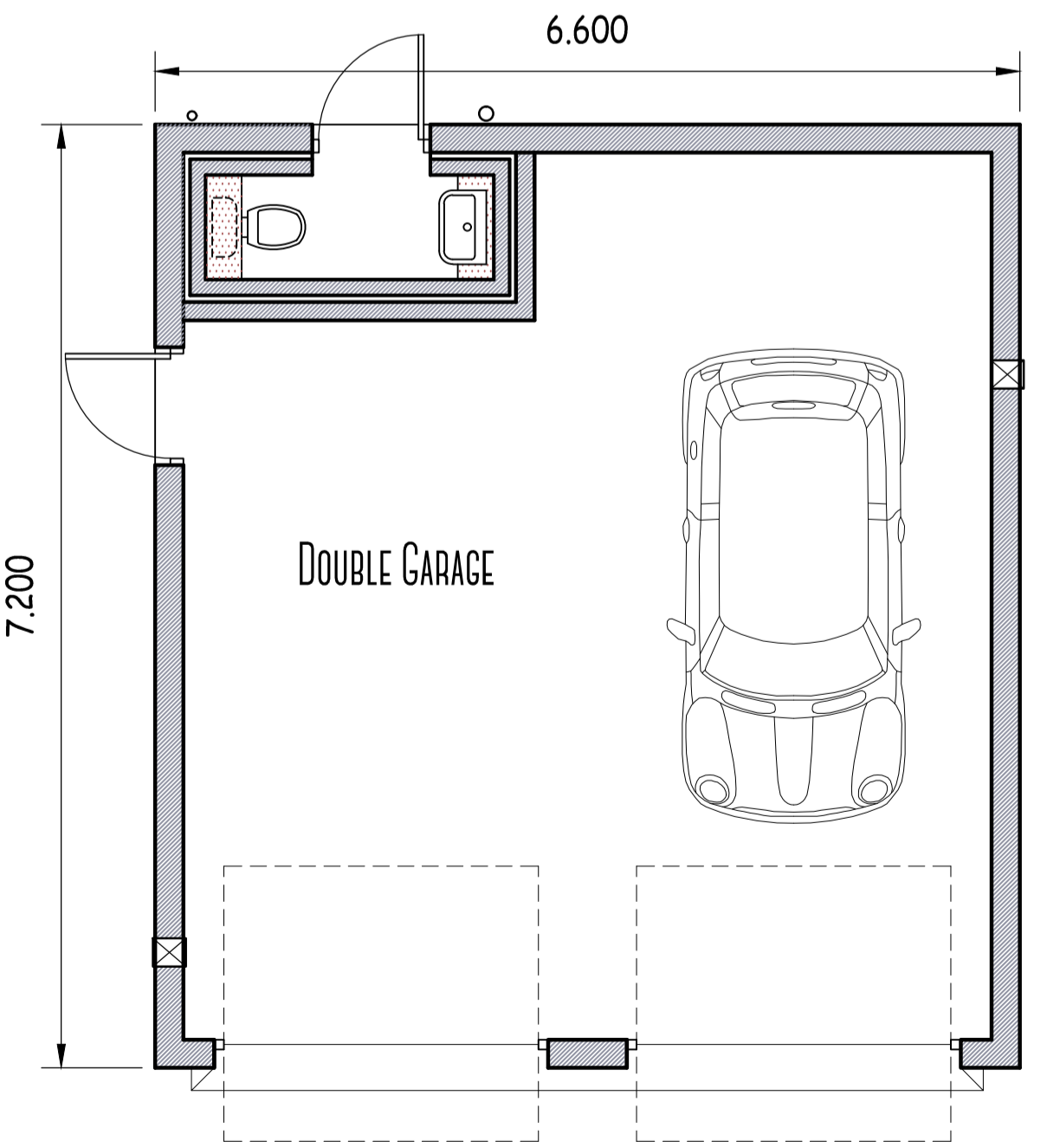
PROPOSED SIDE ELEVATION
 SCALE 1:100 @ A1



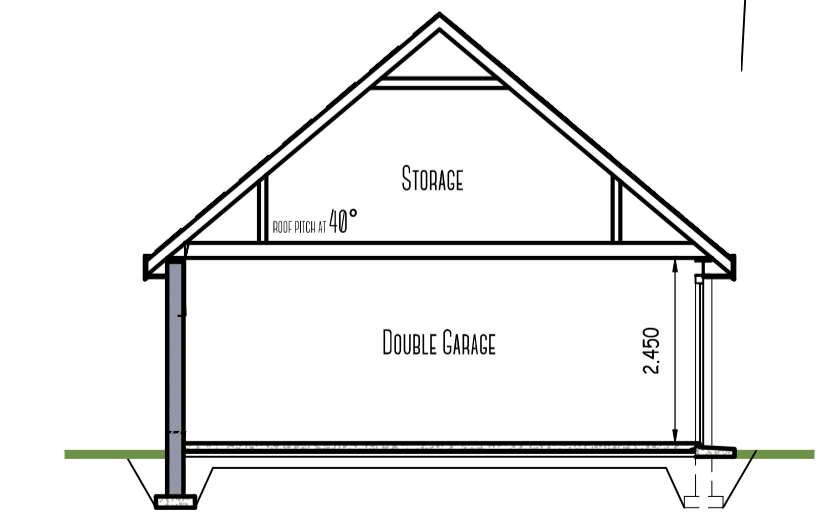
PROPOSED FRONT ELEVATION (SOUTH FACING)
 SCALE 1:50 @ A1



PROPOSED REAR ELEVATION
 SCALE 1:100 @ A1

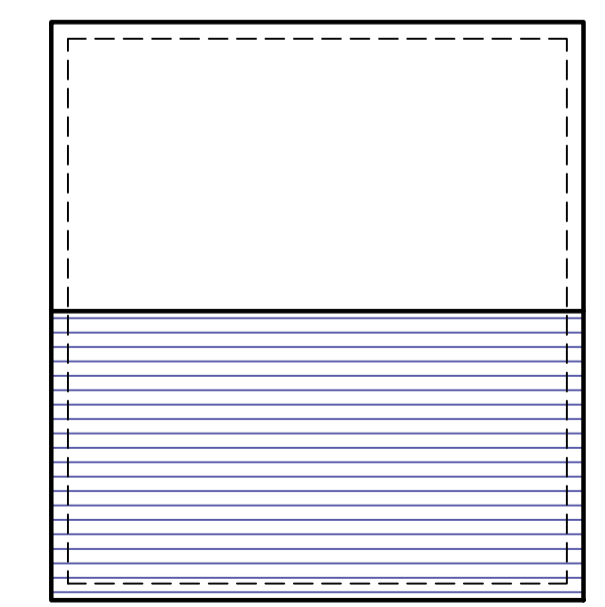


PROPOSED GARAGE PLAN SCALE 1:50 @ A1

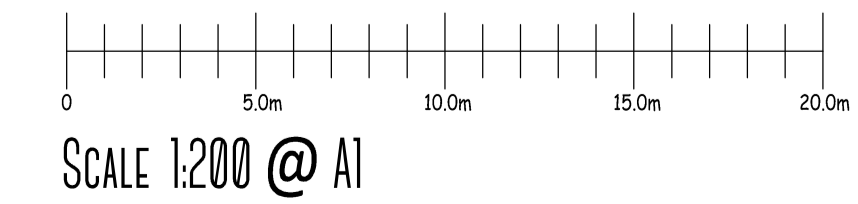


CROSS SECTION SCALE 1:100 @ A1

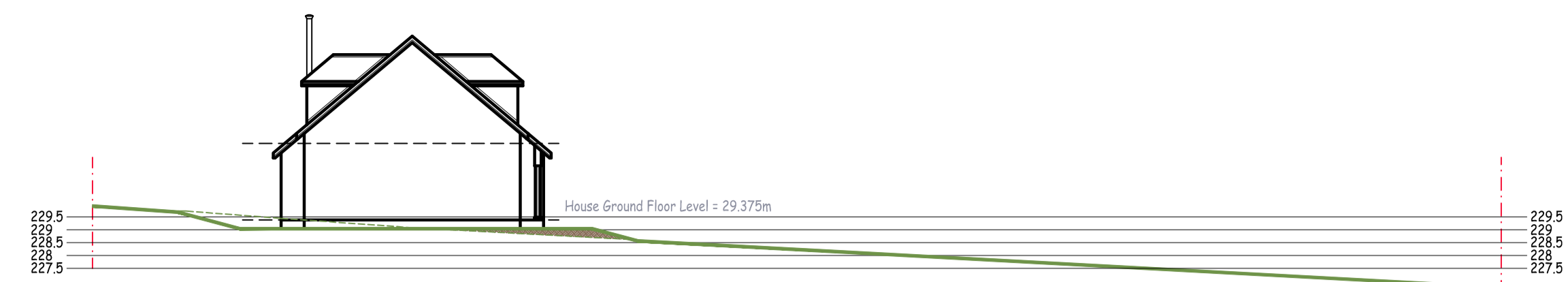
PROPOSED PART SITE LAYOUT PLAN
 SCALE 1:200 @ A1



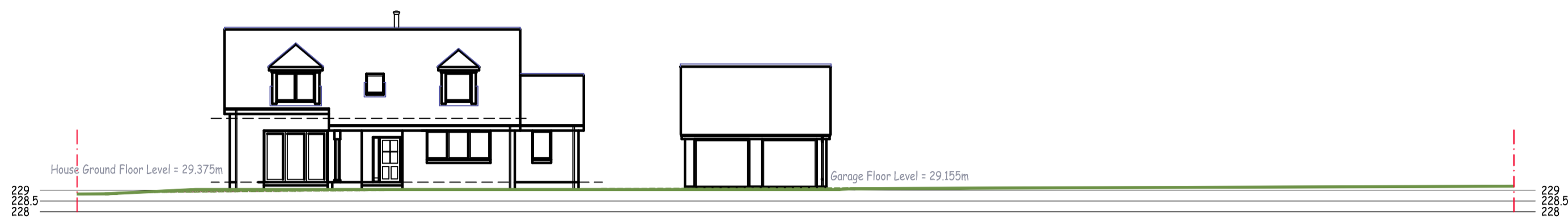
ROOF PLAN SCALE 1:100 @ A1



Amendments		Date
A	First Issue	Oct. 18

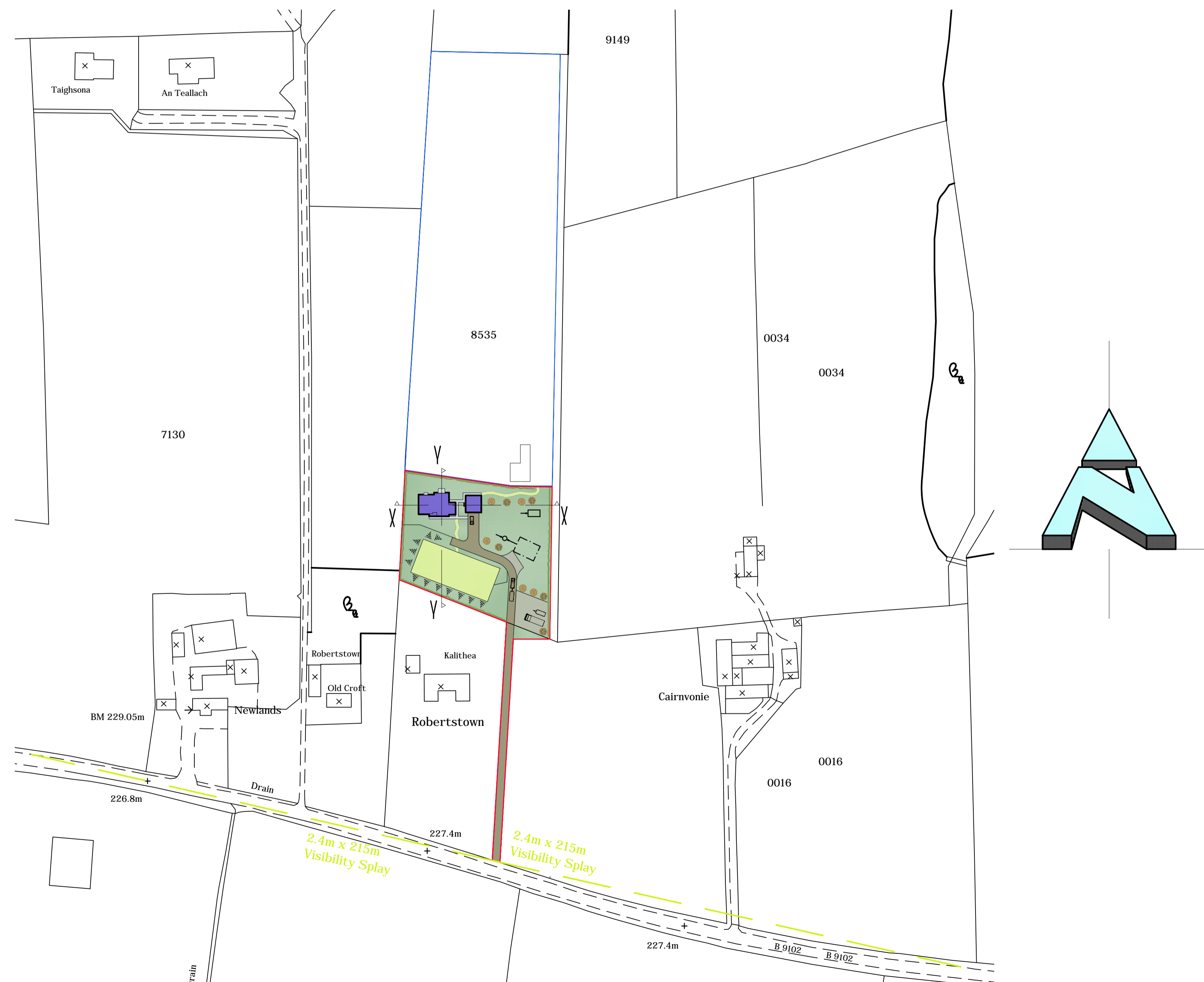


PROPOSED SITE SECTION THROUGH 'Y' - 'Y' SCALE 1:200 @ A1

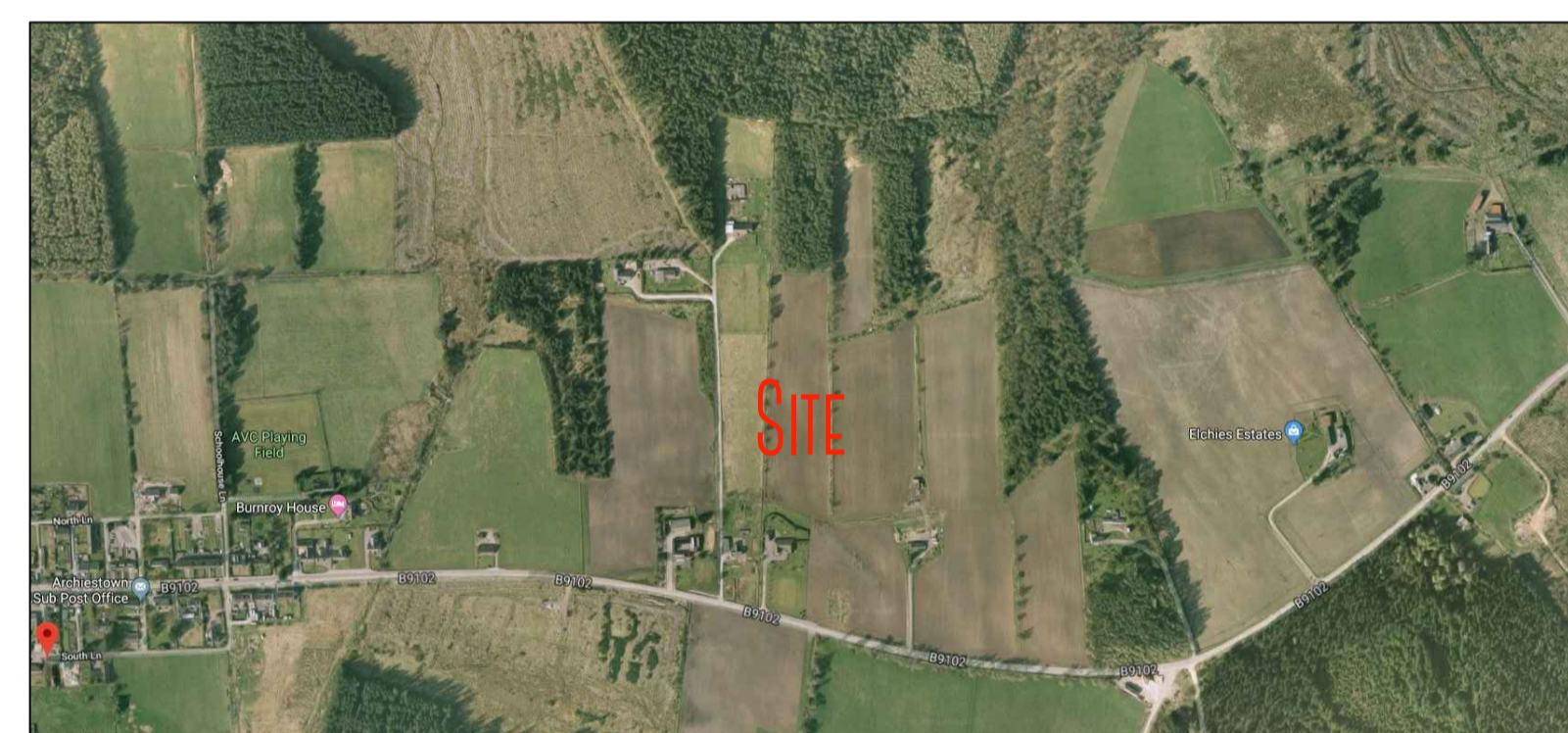


PROPOSED SITE SECTION THROUGH 'X' - 'X' SCALE 1:200 @ A1

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PROPOSED SITE LOCATION PLAN SCALE 1:1250 @ A1



PROPOSED SITE LOCATION PLAN N.T.S

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PROPOSED SITE LOCATION PLAN SCALE 1:5000 @ A1

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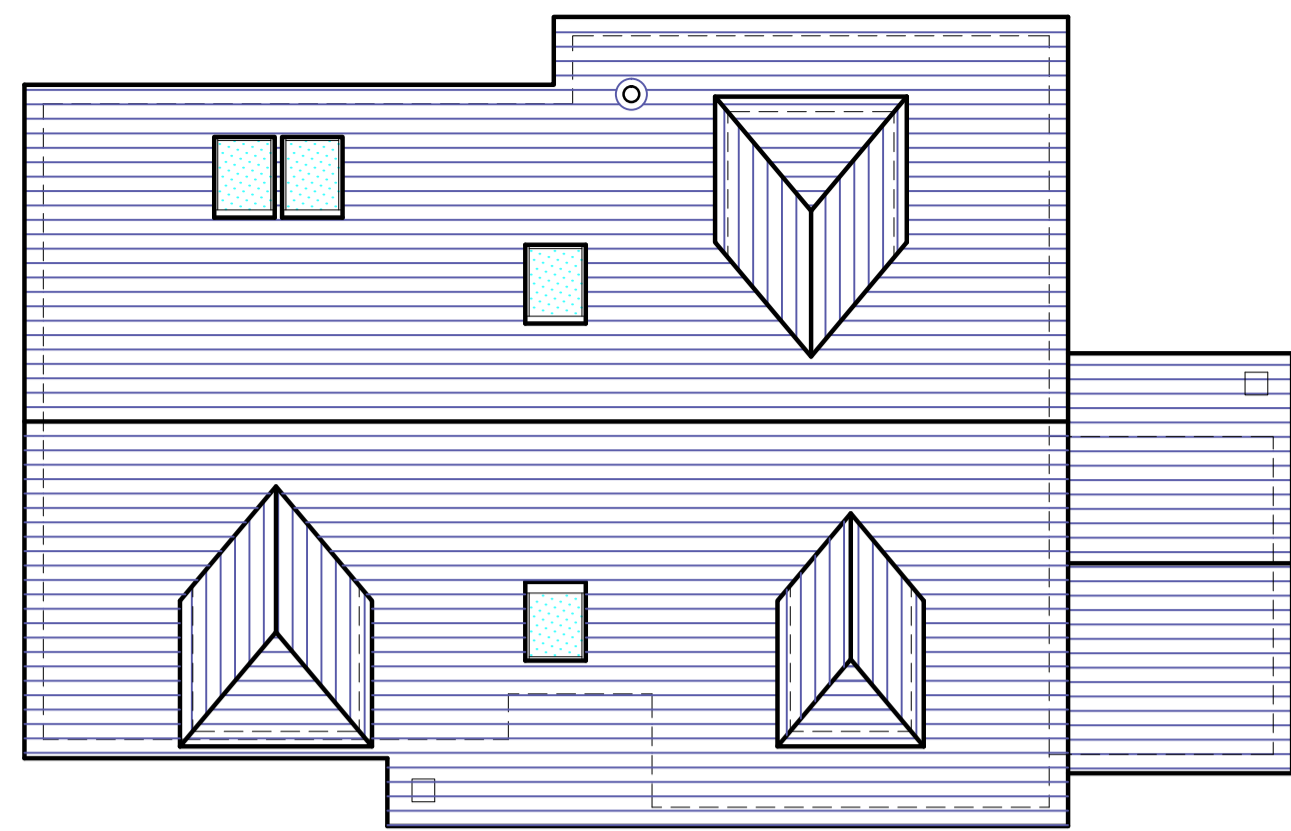
DOMESTIC, COMMERCIAL & INDUSTRIAL

Client: Mr & Mrs Iain Whitecross

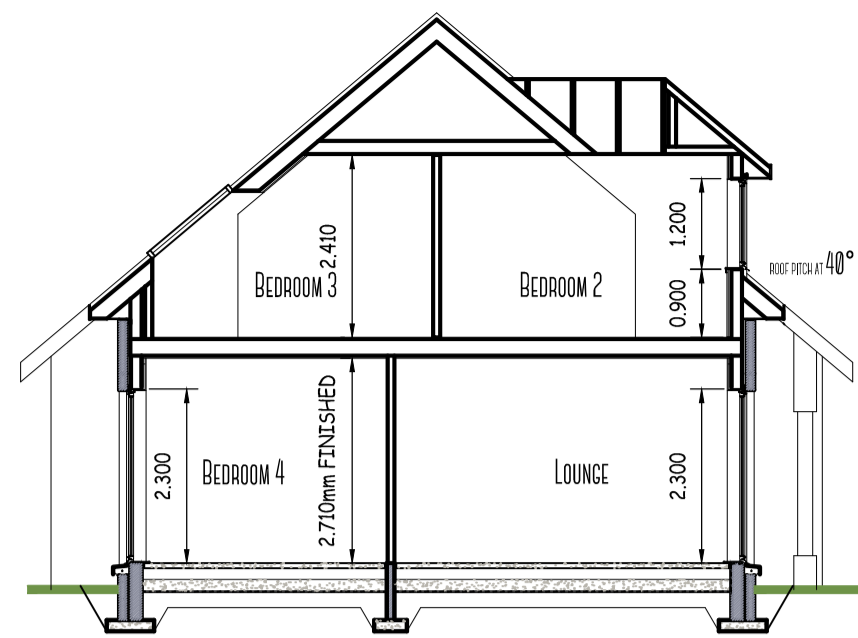
Project: Proposed Dwelling House & Garage
at Site "The Maltings" at Cairnvonie Farm,
Archiestown, Moray

Title: Proposed Site Plan & Site Sections

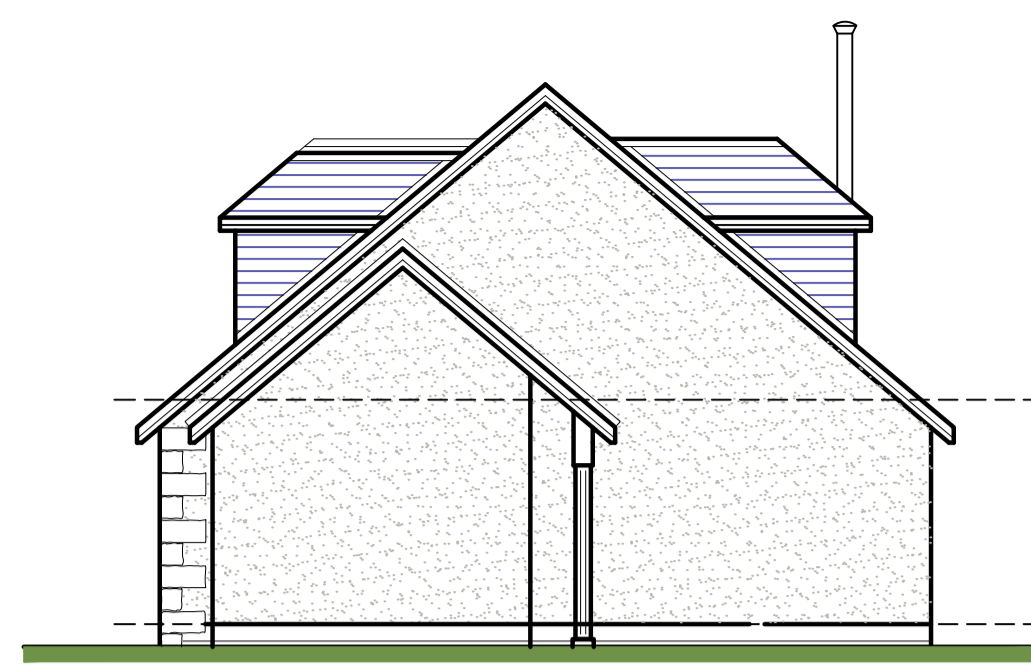
Scale	As Shown	Date	Oct. 18	Drawn by	KM
Job No	IW	Disc	003	Issue	A



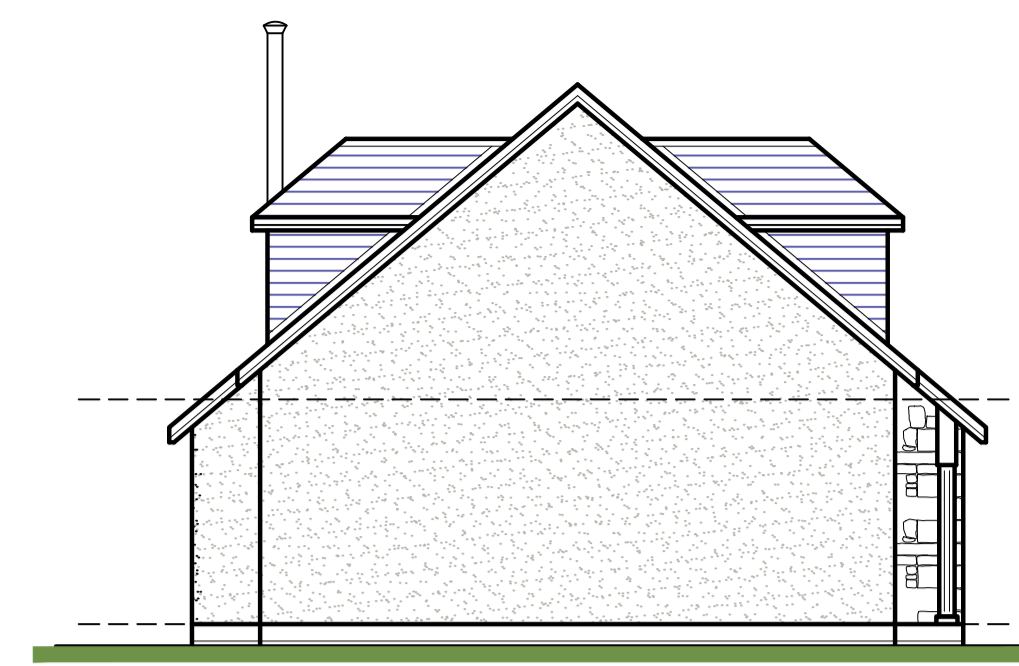
ROOF PLAN SCALE 1:100 @ A1



CROSS SECTION SCALE 1:100 @ A1



PROPOSED SIDE ELEVATIONS (EAST & WEST FACING) SCALE 1:100 @ A1



SCALE 1:100 @ A1

Amendments	Date
A First Issue	Oct. 18
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C Updated Layout	Feb. 19

FINISHES:-

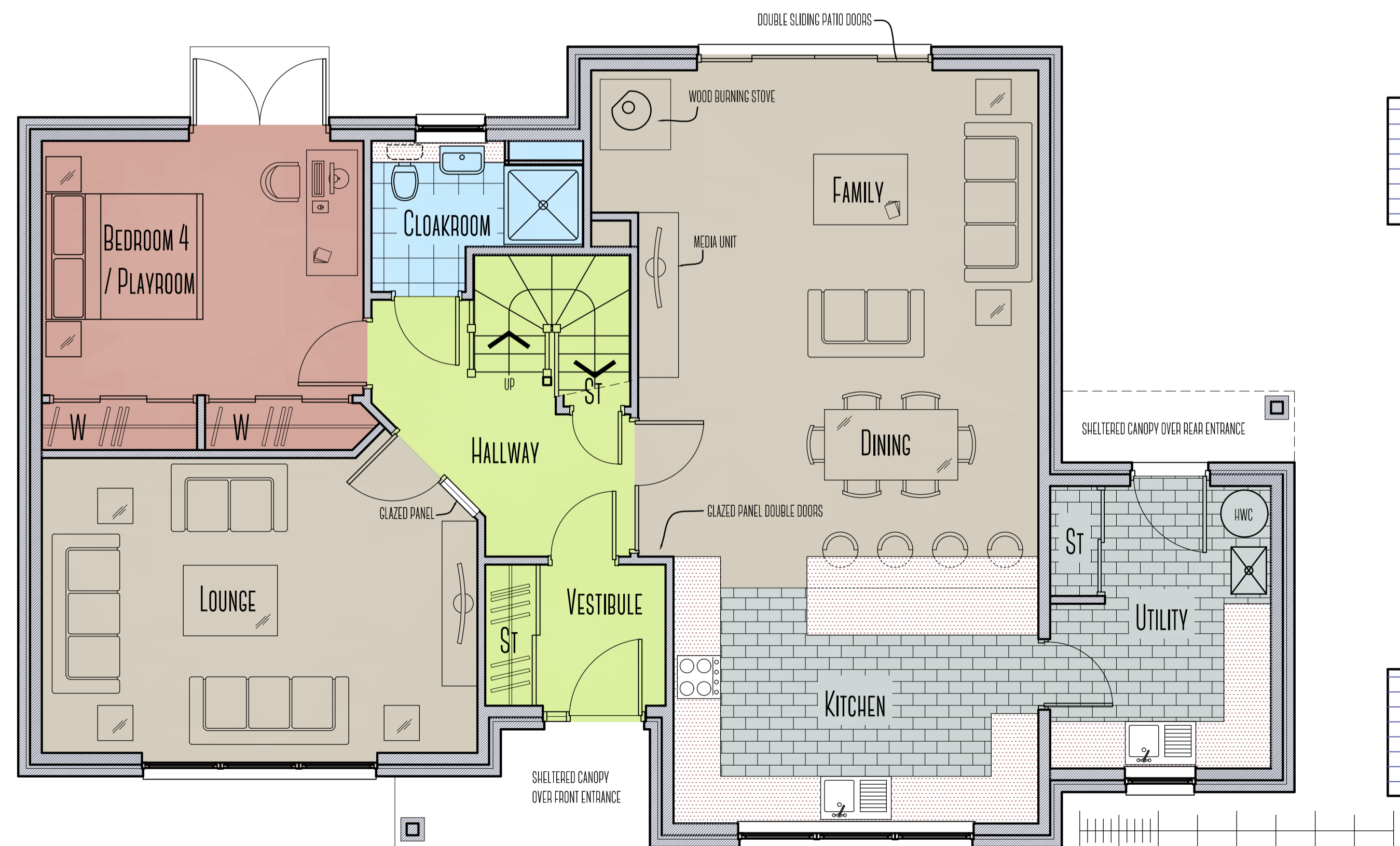
- ROOF: NATURAL SLATE
- WALLS: RECLAIMED CUT & CLEANED SAND STONE
- WALLS: LARCH TIMBER LININGS
- WALLS: ROUGHCAST BLOCKWORK
- BASECOURSE: SMOOTH CEMENT PLASTER RENDER
- WINDOWS: WHITE PVC FRAMES
- RAINWATER GOODS: BLACK UPVC DEEP FLOW
- FASCIA & SOFFIT: WHITE PVC



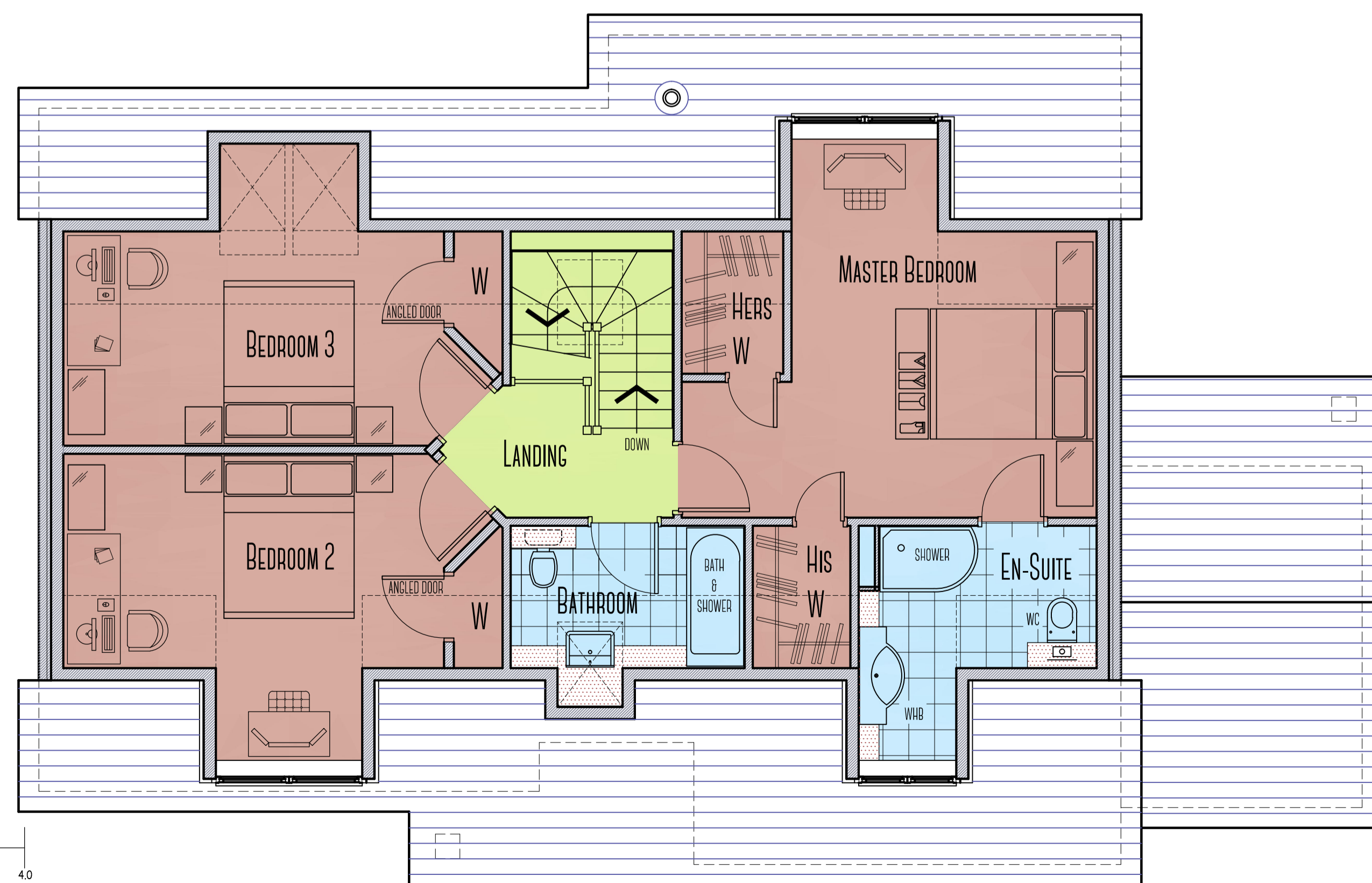
PROPOSED FRONT ELEVATION (SOUTH FACING) SCALE 1:50 @ A1



PROPOSED REAR ELEVATION (NORTH FACING) SCALE 1:50 @ A1



PROPOSED GROUND FLOOR LAYOUT PLAN SCALE 1:50 @ A1 GROUND FLOOR G.I.A = 117.5M/SQ OR THEREBY



PROPOSED FIRST FLOOR LAYOUT PLAN SCALE 1:50 @ A1 FIRST FLOOR G.I.A = 72M/SQ OR THEREBY

TOTAL GROSS INTERNAL FLOOR AREA:-
 GROUND FLOOR G.I.A = 117.5M/SQ OR THEREBY
 FIRST FLOOR G.I.A = 72M/SQ OR THEREBY
TOTAL = 189.5M/SQ OR THEREBY

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Client: Mr & Mrs Iain Whitecross

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Title: Proposed Plans & Elevations

Job No	Scale	Date	Drawn by	Checked by
As Shown	1:50	Oct. 18	IW	KM
IW	1:50	001	IW	C

28th March 2019

Moray Council
Council Office High Street
Elgin
IV30 9BX



Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk

Dear Local Planner

AB38 Archiestown Cairnvoie Farm The Maltings
PLANNING APPLICATION NUMBER: 19/00318/APP
OUR REFERENCE: 775050
PROPOSAL: Erect dwellinghouse and garage

Please quote our reference in all future correspondence

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced and would advise the following:

Water

- There is currently sufficient capacity in the Badentinan Water Treatment Works. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Foul

- Unfortunately, according to our records there is no public Scottish Water, Waste Water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.

The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will **not** accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification taking account of various factors including legal, physical, and technical challenges. However it may still be deemed that a combined connection will not be accepted. Greenfield sites will not be considered and a connection to the combined network will be refused.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is proposed, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- **Scottish Water asset plans can be obtained from our appointed asset plan providers:**

Site Investigation Services (UK) Ltd

Tel: 0333 123 1223

Email: sw@sisplan.co.uk

www.sisplan.co.uk

- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area then they should write to the Customer Connections department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.
- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.

- **Please find all of our application forms on our website at the following link <https://www.scottishwater.co.uk/business/connections/connecting-your-property/new-development-process-and-applications-forms>**

Next Steps:

- **Single Property/Less than 10 dwellings**

For developments of less than 10 domestic dwellings (or non-domestic equivalent) we will require a formal technical application to be submitted directly to Scottish Water or via the chosen Licensed Provider if non domestic, once full planning permission has been granted. Please note in some instances we will require a Pre-Development Enquiry Form to be submitted (for example rural location which are deemed to have a significant impact on our infrastructure) however we will make you aware of this if required.

- **10 or more domestic dwellings:**

For developments of 10 or more domestic dwellings (or non-domestic equivalent) we require a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

- **Non Domestic/Commercial Property:**

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened up to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

- **Trade Effluent Discharge from Non Dom Property:**

Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and launderettes. Activities not covered include hotels, caravan sites or restaurants.

If you are in any doubt as to whether or not the discharge from your premises is likely to be considered to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found using the following link <https://www.scottishwater.co.uk/business/our->

[services/compliance/trade-effluent/trade-effluent-documents/trade-effluent-notice-form-h](#)

Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.

For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas so the development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

If the applicant requires any further assistance or information, please contact our Development Operations Central Support Team on 0800 389 0379 or at planningconsultations@scottishwater.co.uk

Yours sincerely

Angela Allison
Angela.Allison@scottishwater.co.uk

Consultation Request Notification

Planning Authority Name	Moray Council
Response Date	9th April 2019
Planning Authority Reference	19/00318/APP
Nature of Proposal (Description)	Erect dwellinghouse and garage at
Site	The Maltings Cairn vonie Farm Archiestown Moray
Site Postcode	N/A
Site Gazetteer UPRN	999999999999
Proposal Location Easting	323834
Proposal Location Northing	844263
Area of application site (M²)	4355
Additional Comment	
Development Hierarchy Level	LOCAL
Supporting Documentation URL	https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&keyVal=PORAAXBGKQJ00
Previous Application	
Date of Consultation	26th March 2019
Is this a re-consultation of an existing application?	No
Applicant Name	Mr Iain Whitecross
Applicant Organisation Name	
Applicant Address	Per Agent
Agent Name	Ken Mathieson Architectural Design Ltd
Agent Organisation Name	
Agent Address	Mansard House 15 Oldmeldrum Road Bucksburn Aberdeen Scotland AB21 9AD
Agent Phone Number	
Agent Email Address	N/A
Case Officer	Andrew Miller
Case Officer Phone number	01343 563274
Case Officer email address	andrew.miller@moray.gov.uk
PA Response To	consultation.planning@moray.gov.uk

NOTE:

If you do not respond by the response date, it will be assumed that you have no comment to make.

The statutory period allowed for a consultation response is 14 days. Due to scheduling pressures if a definitive response is not received within 21 days this may well cause the two month determination period to be exceeded.

Data Protection - Moray Council is the data controller for this process. Information collected about you on this form will be used to process your Planning Application, and the Council has a duty to process your information fairly. Information we hold must be accurate, up to date, is kept only for as long as is necessary and is otherwise shared only where we are legally obliged to do so. You have a legal right to obtain details of the information that we hold about you.

For full terms please visit http://www.moray.gov.uk/moray_standard/page_121513.html

For full Data Protection policy, information and rights please see http://www.moray.gov.uk/moray_standard/page_119859.html

You can contact our Data Protection Officer at info@moray.gov.uk or 01343 562633 for more information.

Please respond using the attached form:-

MORAY COUNCIL

PLANNING CONSULTATION RESPONSE

From: Transportation Manager

Planning Application Ref. No: 19/00318/APP

Erect dwellinghouse and garage at The Maltings Cairnvonie Farm Archiestown Moray for Mr Iain Whitecross

I have the following comments to make on the application:-

- | | Please |
|---|--------------------------------------|
| (a) I OBJECT to the application for the reason(s) as stated below | x
<input type="checkbox"/> |
| (b) I have NO OBJECTIONS to the application and have no condition(s) and/or comment(s) to make on the proposal | <input type="checkbox"/> |
| (c) I have NO OBJECTIONS to the application subject to condition(s) and/or comment(s) about the proposal as set out below | x |
| (d) Further information is required in order to consider the application as set out below | <input type="checkbox"/> |

Condition(s)

1. No development shall commence until:

- i) a detailed drawing (scale 1:500 or 1:1000 which shall also include details to demonstrate control of the land) showing the visibility splay 2.4 metres by 215 metres in both directions with all boundaries set back to a position behind the required visibility splay, and a schedule of maintenance for the splay area has been submitted to and approved in writing by the Council, as Planning Authority in consultation with the Roads Authority; and
- ii) thereafter the visibility splay shall be provided in accordance with the approved drawing prior to any works commencing (except for those works associated with the provision of the visibility splay); and
- iii) thereafter the visibility splay shall be maintained at all times free from any obstruction exceeding 0.6 metres above the level of the carriageway in accordance with the agreed schedule of maintenance.

Reason: To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit, in the interests of road safety for the proposed development and other road users through the provision of details currently lacking.

2. Prior to the occupation of the dwellinghouse, the first 10m of the access track, measured from the edge of the public carriageway, shall be constructed to the Moray Council specification and surfaced with bituminous macadam. The width of the vehicular access shall be minimum 3.0 metres for the first 5.0 metres measured from the edge of the public carriageway, and have a maximum gradient of 1:20 measured for the first 5.0m from the edge of the public carriageway.

Reason: To ensure acceptable infrastructure at the development access.

4. Prior to the occupation of the dwellinghouse an access lay-by 8.0m long by 2.5m wide with 30 degrees splayed ends shall be provided at the edge of the public road to allow visiting service vehicles to park clear of the public road. The vehicular access should lead off the lay-by. The lay-by must be constructed in accordance with The Moray Council specification and surfaced with bituminous macadam.

Reason: To enable visiting service vehicles to park clear of the public road in the interests of road safety.

5. No water shall be permitted to drain or loose material be carried onto the public footway/carriageway.

Reason: To ensure the safety and free flow of traffic on the public road and access to the site by minimising the road safety impact from extraneous material and surface water in the vicinity of the new access.

6. Three car parking spaces shall be provided within the site prior to the occupation or completion of the dwellinghouse, whichever is the sooner. The parking spaces shall thereafter be retained throughout the lifetime of the development, unless otherwise agreed in writing with the Council as Planning Authority.

Reason: To ensure the permanent availability of the level of parking necessary for residents/visitors/others in the interests of an acceptable development and road safety.

7. A turning area shall be provided within the curtilage of the site to enable vehicles to enter and exit in a forward gear. prior to the first occupation of the building/dwelling.

Reason: To ensure the provision for vehicles to enter/exit in a forward gear in the interests of the safety and free flow of traffic on the public road

Further comment(s) to be passed to applicant

The visibility splay proposed on the submitted details does not at present include the required maintenance regime. The visibility splay is required to be kept clear of obstruction above 0.6m in height, measured from the level of the carriageway, with all boundaries set back to a position behind the splay. All works required to form and maintain the splay in accordance with this should be detailed on any subsequent drawing submitted to discharge planning conditions.

Planning consent does not carry with it the right to carry out works within the public road boundary.

Before starting any work on the existing public road the applicant is obliged to apply for a road opening permit in accordance with Section 56 of the Roads (Scotland) Act 1984. This includes any temporary access joining with the public road. Advice on these matters can be obtained by emailing roadspermits@moray.gov.uk

Public utility apparatus may be affected by this proposal. Contact the appropriate utility service in respect of any necessary utility service alterations which have to be carried out

at the expense of the developer.

No building materials/scaffolding/builder's skip shall obstruct the public road (including footpaths) without permission from the Roads Authority.

The applicant shall free and relieve the Roads Authority from any claims arising out of their operations on the road or extension to the road.

No retaining structures or embankments shall be constructed along the edge of the road, whether retaining the public road or ground adjoining the public road without prior consultation and agreement of the Roads Authority.

Contact:LL
email address:transport.develop@moray.gov.uk
Consultee: Transportation

Date 29.03.19

Return response to	consultation.planning@moray.gov.uk
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Please note that information about the application including consultation responses and representations (whether in support or objection) received on the proposal will be published on the Council's website at <http://publicaccess.moray.gov.uk/eplanning/> (You can also use this site to track progress of the application and view details of any consultation responses and representations (whether in support or objection) received on the proposal). In order to comply with the Data Protection Act, personal information including signatures, personal telephone and email details will be removed prior to publication using "redaction" software to avoid (or mask) the display of such information. Where appropriate other "sensitive" information within documents will also be removed prior to publication online.

From: DeveloperObligations
Sent: 8 Apr 2019 16:16:29 +0100
To: Andrew Miller
Cc: DC-General Enquiries
Subject: 19/00318/APP Erect dwellinghouse and garage at The Maltings, Cairnvonie Farm, Archiestown
Attachments: 19-00318-APP Erect dwellinghouse and garage at The Maltings, Cairnvonie Farm, Archiestown.pdf

Hi

Please find attached the developer obligations assessment that has been undertaken for the above planning application. A copy of the report has been sent to the agent.

Regards
Hilda

Hilda Puskas | Developer Obligations Officer (Development Planning & Facilitation) |
Development Services
hilda.puskas@moray.gov.uk | [website](#) | [facebook](#) | [moray council planning facebook](#) | [twitter](#) |
[newsdesk](#)
01343 563265

MORAY
council



Developer Obligations: ASSESSMENT REPORT



MORAY
council

Date: 08/04/2019

Reference: 19/00318/APP

Description: Erect dwellinghouse and garage at The Maltings, Cairnvonie Farm, Archiestown

Applicant: Mr Iain Whitecross

Agent: Ken Mathieson Architectural Design Ltd.

This assessment has been carried out by Moray Council. This assessment is carried out in relation to policy IMP3 Developer Obligations of the Moray Local Development Plan 2015 (LDP) and associated Supplementary Guidance (SG) on Developer Obligations which was adopted on 1 March 2018.

The LDP and SG can be found at http://www.moray.gov.uk/moray_standard/page_100443.html

Summary of Obligations

Primary Education	Nil
Secondary Education	Nil
Transport	Nil
Healthcare (<i>Contribution towards reconfiguration at Aberlour Health Centre and 1 Additional Dental Chair</i>)	
Sports and Recreation	Nil
Total Developer Obligations	

Breakdown of Calculation

Proposals are assessed on the basis of Standard Residential Unit Equivalents (SRUE) which is a 3-bedroomed residential unit. This application is considered to comprise of the following:

1 x 4-bed= 1.2 SRUE

This assessment is therefore based on 1.2 SRUE.

Developer Obligations Discount for Small Scale Development

A discount of 80% will be applied to the contribution for single unit developments to reflect their small scale nature.



Moray Council **DEVELOPER OBLIGATIONS**

INFRASTRUCTURE

Education

Primary Education

Pupils generated by this development are zoned to Knockando Primary School. The school is currently operating at 67% functional capacity and the additional pupil as a result of this development can be accommodated. As a result, no mitigation is necessary.

Contribution towards Primary Education = Nil

Secondary Education

Pupils generated by this development are zoned to Speyside High School. The school is currently operating at 73% capacity and the additional pupil as a result of this development can be accommodated. As a result, no mitigation is necessary.

Contribution towards Secondary Education = Nil

Transport

The Moray Council Transportation Services has confirmed that no developer obligations will be sought for this proposal.

Contributions towards Transport = Nil

Healthcare

Healthcare Facilities include General Medical Services (GMS), community pharmacies and dental practices. Scottish Health Planning Notes provide national guidance on standards and specification for healthcare facilities. The recommended number of patients is 1500 per

General Practitioner (GP) and floorspace requirement per GP is 271m².

Healthcare infrastructure requirements have been calculated with NHS Grampian on the basis of national standards and specifications for healthcare facilities and estimating the likely number of new patients generated by the development (based on the average household size of 2.17 persons -Census 2011).

Aberlour Health Centre is the nearest GP Practice within which healthcare facilities can be accessed by the proposed development. NHS Grampian has confirmed that Aberlour Health Centre is working beyond design capacity and existing space will be required to be reconfigured and that 1 Additional Dental Chair will be required.

Contributions are calculated based on a proportional contribution of [redacted] per SRUE for the healthcentre and [redacted] per SRUE for the additional dental chair.

[redacted]

[redacted]

[redacted]

[redacted]

Contribution towards Healthcare= [redacted]

Sports and Recreational Facilities

Sports and Recreation Facilities

Existing sports provision within Archiestown is considered to be adequate to serve the needs of the residents anticipated to be generated by this development. Therefore, in



this instance, no contribution will be required.

Contribution for Sports and Recreation Facilities = Nil



TERMS OF ASSESSMENT

This assessment report is valid for a period of 6 months from the date of issue.

Please note that any subsequent planning applications for this site may require a re-assessment to be undertaken on the basis of the policies and rates pertaining at that time.

PAYMENT OF CONTRIBUTIONS

Remittance of financial obligations can be undertaken either through the provision of an upfront payment or by entering into a Section 75 agreement. The provision of an upfront payment will allow a planning consent to be issued promptly. However, where the amount of developer contributions are such that an upfront payment may be considered prohibitive a Section 75 will likely be required. The payment of contributions may be tied into the completion of houses through a Section 75 Agreement or equivalent, to facilitate the delivery of development. Please note that Applicants are liable for both the legal costs of their own Legal Agent fees and Council's legal fees and outlays in the preparation of the document. These costs should be taken into account when considering the options.

INDEXATION

Developer obligations towards Moray Council infrastructure are index linked to the General Building Cost Price Index (BCPI) as published by the Building Cost Information Service (BCIS) of the Royal Institute of Chartered Surveyors (RICS) from Q3, 2017 and obligations towards NHS Grampian infrastructure are index linked to All in Tender

Price Index (TPI) as published by the Royal Institute of Chartered Surveyors (RICS) from Q2, 2017.



Consultee Comments for Planning Application 19/00318/APP

Application Summary

Application Number: 19/00318/APP

Address: The Maltings Cairnvonie Farm Archiestown Moray

Proposal: Erect dwellinghouse and garage at

Case Officer: Andrew Miller

Consultee Details

Name: Mr CL Consultations

Address: Environmental Health, Council Offices, High Street Elgin, Moray IV30 1BX

Email: clconsultations@moray.gov.uk

On Behalf Of: Contaminated Land

Comments

Approved Unconditionally - Adrian Muscutt

Consultee Comments for Planning Application 19/00318/APP

Application Summary

Application Number: 19/00318/APP

Address: The Maltings Cairnvonie Farm Archiestown Moray

Proposal: Erect dwellinghouse and garage at

Case Officer: Andrew Miller

Consultee Details

Name: Mr EH Consultations

Address: Environmental Health, Council Offices, High Street Elgin, Moray IV30 1BX

Email: ehplanning.consultations@moray.gov.uk

On Behalf Of: Environmental Health C12

Comments

No objections

Kevin Boyle, Principal EHO

Consultation Request Notification

Planning Authority Name	Moray Council
Response Date	9th April 2019
Planning Authority Reference	19/00318/APP
Nature of Proposal (Description)	Erect dwellinghouse and garage at
Site	The Maltings Cairn vonie Farm Archiestown Moray
Site Postcode	N/A
Site Gazetteer UPRN	999999999999
Proposal Location Easting	323834
Proposal Location Northing	844263
Area of application site (M²)	4355
Additional Comment	
Development Hierarchy Level	LOCAL
Supporting Documentation URL	https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&keyVal=PORAAXBGKQJ00
Previous Application	
Date of Consultation	26th March 2019
Is this a re-consultation of an existing application?	No
Applicant Name	Mr Iain Whitecross
Applicant Organisation Name	
Applicant Address	Per Agent
Agent Name	Ken Mathieson Architectural Design Ltd
Agent Organisation Name	
Agent Address	Mansard House 15 Oldmeldrum Road Bucksburn Aberdeen Scotland AB21 9AD
Agent Phone Number	
Agent Email Address	N/A
Case Officer	Andrew Miller
Case Officer Phone number	01343 563274
Case Officer email address	andrew.miller@moray.gov.uk
PA Response To	consultation.planning@moray.gov.uk

NOTE:

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For full Data Protection policy, information and rights please see http://www.moray.gov.uk/moray_standard/page_119859.html

You can contact our Data Protection Officer at info@moray.gov.uk or 01343 562633 for more information.

Please respond using the attached form:-

MORAY COUNCIL

PLANNING CONSULTATION RESPONSE

From: Moray Flood Risk Management

Planning Application Ref. No: 19/00318/APP

Erect dwellinghouse and garage at The Maltings Cairnvonie Farm Archiestown Moray for Mr Iain Whitecross

I have the following comments to make on the application:-

- | | Please |
|---|--------------------------------------|
| (a) I OBJECT to the application for the reason(s) as stated below | x
<input type="checkbox"/> |
| (b) I have NO OBJECTIONS to the application and have no condition(s) and/or comment(s) to make on the proposal | <input checked="" type="checkbox"/> |
| (c) I have NO OBJECTIONS to the application subject to condition(s) and/or comment(s) about the proposal as set out below | <input type="checkbox"/> |
| (d) Further information is required in order to consider the application as set out below | <input type="checkbox"/> |

Contact: Leigh Moreton

email address: leigh.moreton@moray.gov.uk

Consultee:

Date: 02/04/2019

Phone No: 01343 563773

Return response to	consultation.planning@moray.gov.uk
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Please note that information about the application including consultation responses and representations (whether in support or objection) received on the proposal will be published on the Council's website at <http://publicaccess.moray.gov.uk/eplanning/> (You can also use this site to track progress of the application and view details of any consultation responses and representations (whether in support or objection) received on the proposal). In order to comply with the Data Protection Act, personal information including signatures, personal telephone and email details will be removed prior to publication using "redaction" software to avoid (or mask) the display of such information. Where appropriate other "sensitive" information within documents will also be removed prior to publication online.

S.A. MCGREGOR



GROUND ASSESSMENT & DRAINAGE RECOMMENDATION REPORT

PROPOSED NEW DWELLINGHOUSE LAND TO NORTHWEST OF CAIRNVONIE ARCHIESTOWN MORAY

Client & Applicant: Mr I. Whitecross

Agent: Ken Mathieson
Architectural Design Ltd.
Bucksburn

Contract No.: 2235/18

Report Issued: 08 November 2018

CONTENTS

Introduction

Site Location & Brief Description

Site Work

Trial Pits

Percolation Testing

Infiltration Testing

Ground Assessment

Published Geology

Encountered Ground Conditions

Ground Water Observations

Discussion

Sub-Soils

Sewerage Treatment

Foul Water Discharge

SuDS

Surface Water Disposal

Drainage Recommendations

Foul Water Discharge

SEPA

Surface Water Disposal

Indicative Drainage Layout

System Maintenance

Sewage Treatment System

Soakaways

Regulations

Foundation Recommendations

Safe Bearing Capacity

Excavations

Settlement

De-watering

APPENDIX A

Site Plans	Fig. 1. General & Site Location Plans
	Fig. 2. Test Location Plan
Drainage	Fig. 3. Indicative Drainage Layout
	Fig. 4. Indicative Sub-Surface Soakaway Construction
Certificates	Foul Water Soakaway
	Surface Water Soakaway

**GROUND ASSESSMENT &
DRAINAGE RECOMMENDATION REPORT**
PROPOSED NEW DWELLINGHOUSE
LAND TO NORTHWEST OF CAIRNVONIE
ARCHIESTOWN
MORAY

INTRODUCTION

At the request of Mr Iain Whitecross a ground assessment investigation was undertaken on land to the north-west of Cairnvonie east of Archiestown in Moray.

It is proposed to erect a new dwellinghouse on the site.

The purpose of the visit was to carry out a ground investigation to determine the nature of the materials underlying the area of the site and to undertake the following: -

- to carry out percolation testing to assess the suitability of the underground strata for the disposal of effluent from a sewage treatment system
- to carry out infiltration testing for the disposal design for surface waters from the proposed development
- to assess safe bearing capacity for foundation design

SITE LOCATION & BRIEF DESCRIPTION

The site is located on land to the north-west of Cairnvonie with access from off the B9102 on land all under the ownership of the applicant, OS Grid Ref NJ 23842 44247 (approx. centre of site), see Fig. 1. General & Site Location Plans.

The site is unoccupied and overlain by grass. The boundaries are defined by a post and wire fence.

The site is un-serviced however mains water, electricity and telephone are nearby; there is no mains drainage available.

There are no known wells supplying potable water within 50m of the site.

There are no surface watercourses within 50m of the site.

SITE WORK

Trial Pits

On the 27th September 2018, a tracked excavator with 1.0m and 0.50m buckets excavated trial pits to assess the underlying ground conditions and to carry out percolation and infiltration testing in the areas of the potential foul and surface water sub-surface soakaways.

The locations of the trial pits were decided on site taking into account the proposed house location and site topography and are indicated on Fig. 2. Indicative Test Location Plan in Appendix A.

Percolation Testing

Percolation testing was carried out in test holes adjacent to observation trial pits FW1 in accordance with Section 3.9.2 of the Scottish Building Standards Technical Handbook (Domestic); the test results are shown on the following table: -

Date of Testing 27 th September 2018	FW1
Average time taken for water to drain 3 times in each sump hole (middle 150mm)	8875
Depth of Water Table below Ground Level (m)	>2.70m
Soil Percolation Values, Vp, s/mm	60

Infiltration Testing

Infiltration tests were carried out in trial pit SW1 in accordance with BRE Digest 365; the test results are tabulated below: -

Trial Pit No.	Pit Dimensions (W x L)m	Test Zone (mbegl)	In-Fill	Soil Infiltration Rate, f(m/s)
SW1	0.50 x 1.10	1.30-2.30	Open	5.55 x 10⁻⁶

GROUND ASSESSMENT

Published Geology

The British Geological Survey 1:50,000 Superficial and Solid maps indicate that the site may be overlain by Devensian Till Deposits (Diamicton – clay, silt, sand and gravels) formed up to 2 million years ago during the Quaternary Period. The site is underlain by the Archiestown Pluton (Monzogranite) igneous bedrock formed approximately 419 to 444 million years ago during the Silurian Period.

Encountered Ground Conditions

Topsoil: The site is overlain by 300-350mm of topsoil.

Natural Sub-Soils: The natural underlying sub-soils have an upper mantle of well consolidated stiff light orange brown silty sandy gravelly clay to depths in the range 1.30-1.70m below existing ground levels. Below the clay are medium dense light brown coarse sands (completely weathered rock) proved to a maximum investigated depth of 2.70m.

Bedrock: In-tact bedrock was not encountered during this investigation.

Groundwater Observations

Groundwater was not encountered during the investigation nor observed during the monitoring period. No visual (no seepages or discoloration) indication of the seasonally high or fluctuating ground water table was seen in the strata above the encountered depths of 2.70m.

DISCUSSION

Sub-Soils

The sandy gravelly nature of the underlying soils and the results from the percolation and infiltration testing confirmed the moderate to well-draining properties of the sub-soils.

Sewage Treatment

The soil percolation value, $V_p = 60$ s/mm and therefore a septic tank is suitable for the proposed development, However, due to the proximity of nearby dwellings to to further protect the environment it is recommended to install a package sewage treatment plant (PSTP) with a minimum 3,750-litre capacity for up to a 4-bedroom house, a population equivalent, PE = 6.

Foul Water Discharge

A sub-surface stone-filled soakaway (infiltration system) is considered suitable for the discharge of foul waters from a septic tank directly to the ground. The soakaway should comply with the Domestic Technical Handbook (para. 3.9.2) which sets out guidance on design in accordance with the requirements of SEPA Regulatory Method (WAT-RM-04) Indirect Sewage Discharges to Groundwater.

SuDS

The disposal of surface waters from the development needs to be assessed in terms of both the quantity and the quality of the discharge for Building Regulations and SEPA. Using the SIA tool, the land use run-off quality has been determined, see summary below: -

Land Use Type	Residential Roofing	Residential Parking & Driveway
Pollution Hazard Level	Very Low	Low
Pollution Hazard Indices		
TSS	0.2	0.5
Metals	0.2	0.4
Hydrocarbons	0.05	0.4
SuDS Component Proposed Component 1	None (not discharging to watercourse)	
SuDS Pollution Mitigation Indices		
TSS	0.4	0.4
Metals	0.4	0.4
Hydrocarbons	0.4	0.4
Groundwater Protection Type	Infiltration Trench	Silt Trap for TSS Minimum 300mm permeable gravel finish
Combined Pollution Mitigation Indices		
TSS	0.4	0.4
Metals	0.4	0.4
Hydrocarbons	0.4	0.4
Acceptability of Pollution Mitigation		
TSS	Sufficient	Sufficient
Metals	Sufficient	Sufficient
Hydrocarbons	Sufficient	Sufficient

Surface Water Disposal

The investigation carried out concludes that the underlying strata are considered suitable for the construction of an infiltration trench for the surface water run-off from the roof areas and permeable driveways/parking areas for the proposed development prior to disposal to the ground.

DRAINAGE RECOMMENDATIONS

Foul Water Discharge via a Sub-Surface Stone-filled Soakaway

To comply with the Domestic Technical Handbook (para. 3.9.2) which sets out guidance on how proposals may meet the Building Standards set out in the Building (Scotland) Regulations 2004, an infiltration system must be designed and constructed in accordance with the requirements of SEPA.

Using the average soil percolation value, $Vp = 60s/mm$ and in accordance with the regulations the minimum base area, A, is derived from $A = Vp \times PE \times 0.25$, see the following table: -

Proposed Development	Population Equivalent, PE (as defined in BW COP:18.11/13)	Min. Base Area (m ²)	
		Septic Tank	PSTP
New Dwellinghouse	6 (4-bedroom)	90	72

Full details of the proposed sewage treatment system will be made available to the Building Standards Officer once it has been determined after consultation with suppliers which models are the most suitable for the proposed development and the potential population equivalent of the dwellinghouse.

SEPA

The final installed sewage treatment system and discharge will require to be registered with SEPA under CAR.

Surface Water Disposal

The size of the proposed surface water soakaway is based on the impermeable surface areas of the development.

Using the soil infiltration rate, $f = 5.55 \times 10^{-6} m/s$ the optimum dimensions for the surface water infiltration trench (soakaway) are shown on the following table: -

Impermeable Area (m ²)	Width (m)	Length (m)	Storage depth (m)	Half Empty Time (hrs)
New House Roof Areas Up to 200m²	1.00	15.90	1.50	7.06
	2.00	8.10		12.04
	3.00	5.40		14.49
	4.00	4.00		15.11

These dimensions are based on a 30-year return period of storm duration of 60 minutes.
 Calculations have been carried out in accordance with BRE Digest 365.

Indicative Drainage Layout

The indicative drainage layout is shown on Fig 3. with indicative soakaway construction shown on Fig. 4. along with the certificates all in Appendix A.

SYSTEM MAINTENANCE

Sewage Treatment System

All servicing and maintenance should be undertaken in full accordance with the manufacturer's literature or by a responsible qualified person. The septic tank should be regularly inspected and 'desludged' (emptied) when appropriate to ensure solids and silts do not 'clog' the soakaway or make their way to the discharge outlet.

Soakaways

The soakaways are designed for the life time of the proposed development if they are not allowed to silt up nor the pipework to be blocked.

If a soakaway fails to due blockages or silting it should be excavated and reconstructed with fresh clean stone, new pipework and renewed terram.

During the development of the site, and the excavation of the soakaways, should any field drains be found within 10m of the soakaway they should be realigned or relocated accordingly.

REGULATIONS

SEPA and Building Regulations require that infiltration systems (soakaways) are located at least:

-

- 50m from any spring, well or borehole used as drinking water supply
- 10m horizontally from any water course (including any inland or coastal waters), permeable drain (including culvert), road or railway
- 5m from all buildings
- 5m from boundaries (*reduced distance to boundaries may also be subject to agreement from adjacent land owners where the soakaway is considered not to be detrimental to the adjacent property*)

FOUNDATION RECOMMENDATIONS

Safe Bearing Capacity

It is recommended that the foundations should be taken down through the topsoil and rest on the underlying stiff clays at a minimum depth of below 0.60m below existing ground levels.

A safe bearing capacity of 200kN/m² may be applied for the design of the foundations for standard strip footings.

Excavations

Due to the clayey nature of the upper sub-soils, if left exposed, all foundations excavations should be protected from rain and run-off water to maintain the soils strength.

Settlement

It is considered that the generally stiff, sandy and gravelly nature of the clayey sub-soils will have settlement within tolerable design limits.

Dewatering

It is not anticipated that de-watering measures will be required during excavations.

APPENDIX A

Site Plans	Fig. 1. General & Site Location Plans Fig. 2. Test Location Plan
Trial Pit Logs	FW1 & SW1
Drainage	Fig. 3. Indicative Drainage Layout Fig. 4. Indicative Sub-Surface Soakaway Construction
Certificates	Foul Water Soakaway Surface Water Soakaway

Fig. 1. GENERAL & SITE LOCATION PLANS

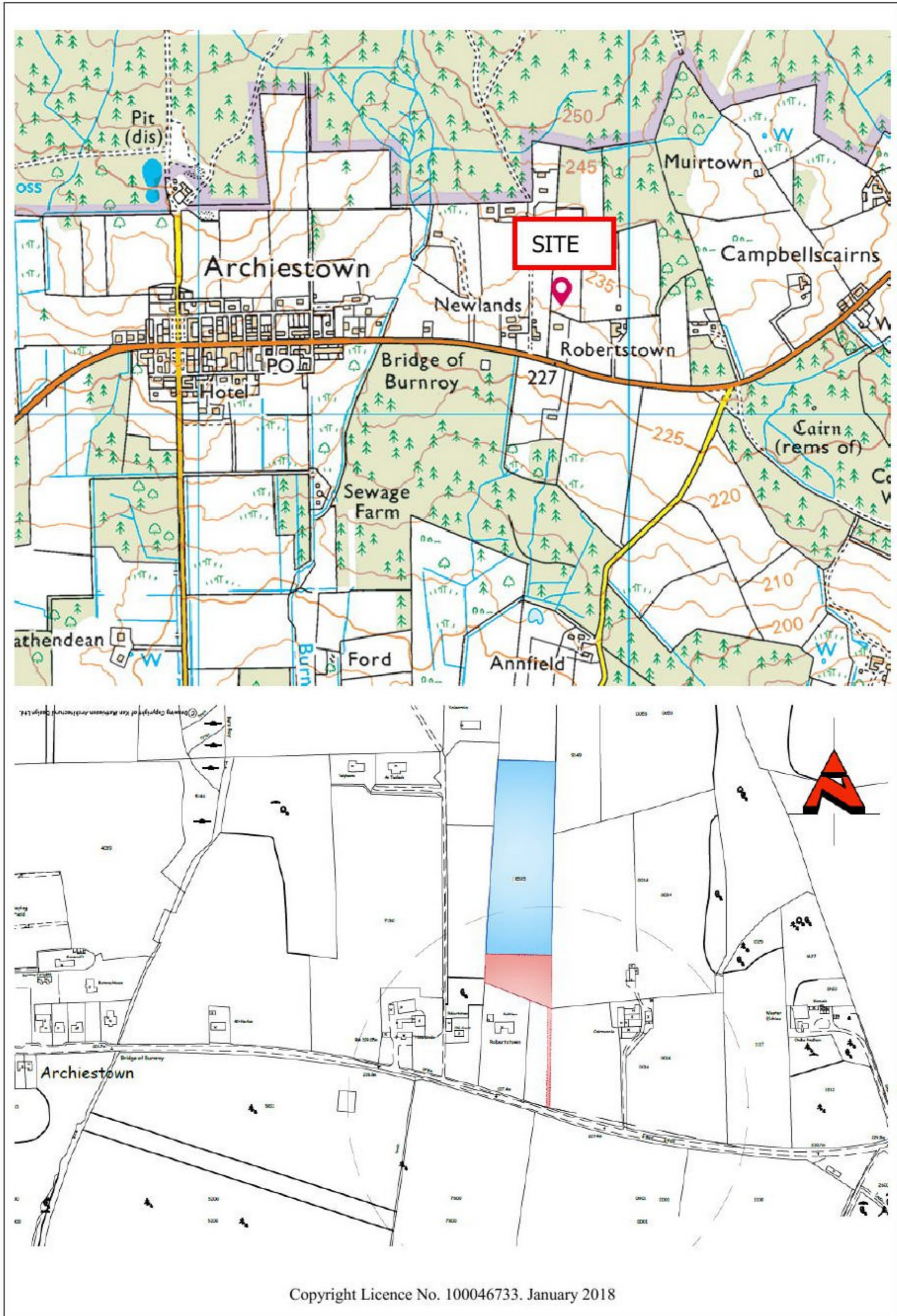
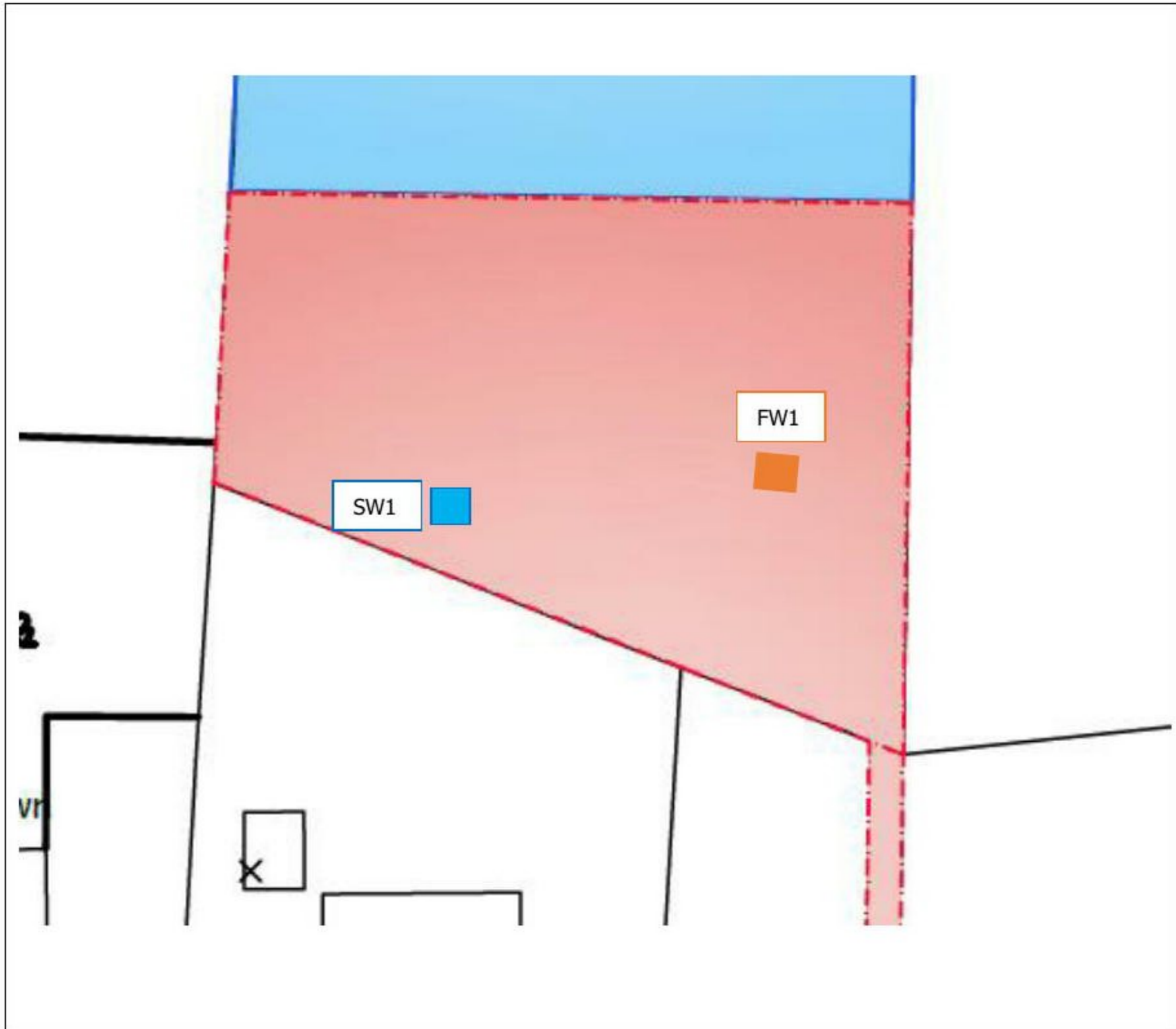


Fig. 2. INDICATIVE TEST LOCATION PLAN



Extract from Ken Mathieston Drawing Sep 2018

Fig. 3. INDICATIVE DRAINAGE LAYOUT

NOT TO SCALE: ALL SOAKAWAY DIMENSIONS PROVIDED ON THIS DRAWING SHOULD BE CHECKED ON A FULL-SCALE PLAN TO ENSURE THEY MEET THE REQUIRED BUILDING REGULATIONS 5m FROM BUILDINGS AND SITE BOUNDARIES, 10m FROM OTHER SOAKAWAYS, DRAINS AND WATERCOURSES & 50m FROM WELLS

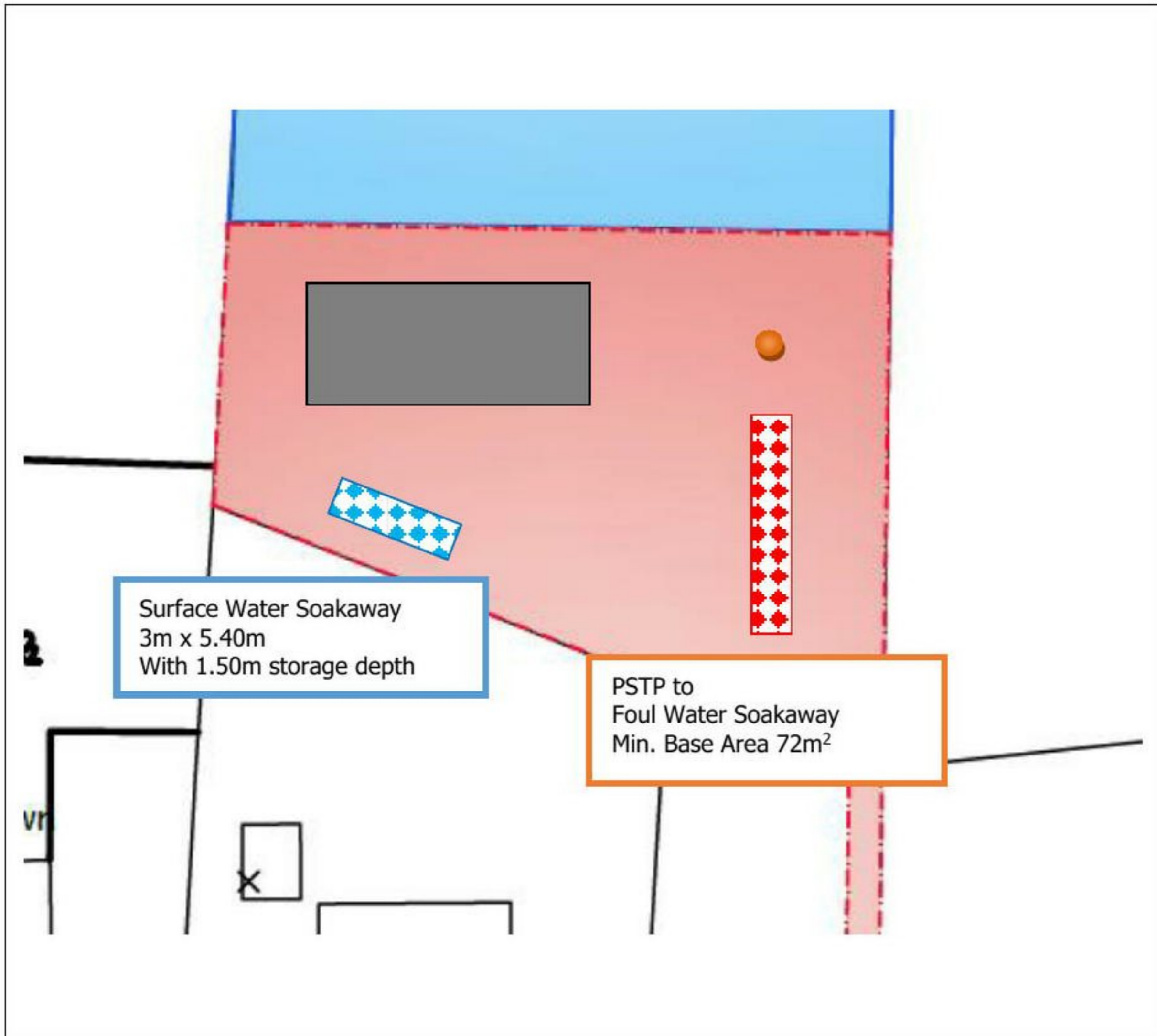
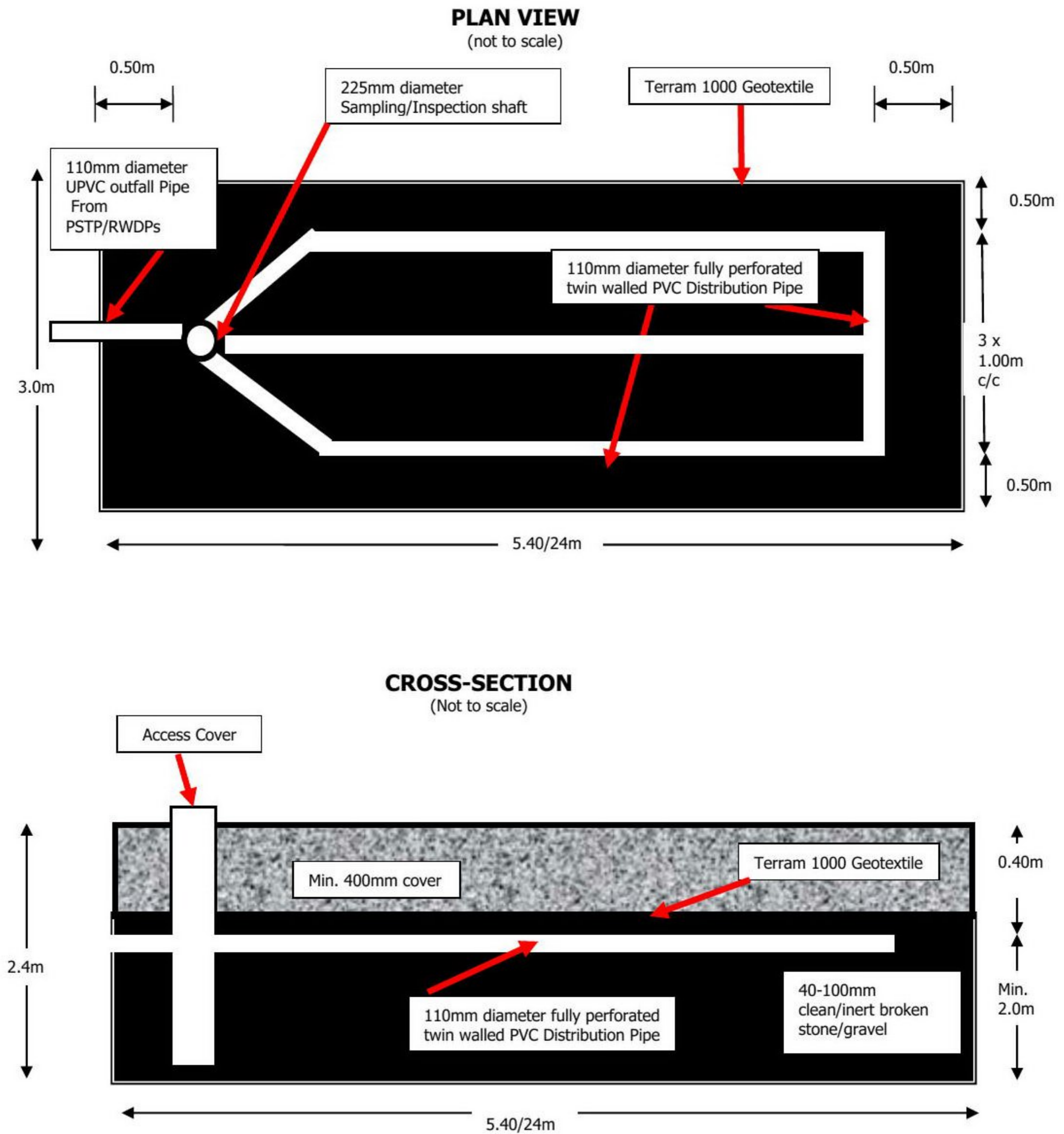


Fig. 4. INDICATIVE SUB-SURFACE SOAKAWAY CONSTRUCTION
 (sketch only, not to scale)



CERTIFICATE FOR PROPOSED FOUL WATER SUB-SURFACE SOAKAWAY

Two tests are normally required to demonstrate the suitability of the proposed drainage scheme:

1. A trial pit must be excavated to a depth of 1 metre below the proposed invert of the drain to establish whether the water table will interfere with the operation of the soakaway
- and
2. A percolation test must be carried out to determine the area of the ground required.

Certificate

Applicant's Name Mr I. Whitecross

Address c/o Ken Mathieson

Site Address Land NW of Cairnvonie, Archiestown, Moray

Date of Test.....27th September 2018

Weather...Sunny & Rain showers

Encountered Ground Conditions

Topsoil: The site is overlain by 300-350mm of topsoil. **Natural Sub-Soils:** The natural underlying sub-soils have an upper mantle of well consolidated stiff light orange brown silty sandy gravelly clay to depths in the range 1.30-1.70m below existing ground levels. Below the clay are medium dense light brown coarse sands (completely weathered rock) proved to a maximum investigated depth of 2.70m. **Bedrock:** In-tact bedrock was not encountered during this investigation.

Groundwater Observations

Groundwater was not encountered during the investigation nor observed during the monitoring period. No visual (no seepages or discoloration) indication of the seasonally high or fluctuating ground water table was seen in the strata above the encountered depths of 2.70m.

Wells: no known wells used for supply of potable water within 50m of site.

Depth of Drains:1.70m

Depth of Excavations: ..up to 2.70m.....

Percolation Tests

FW1

Time Taken (mean of three times), secs

8875

Average Soil Percolation Values, Vp, s/mm

60

Population Equivalent

6 (4-bedroom)

Minimum Floor Area of Soakaway

90m² or 72m² with secondary treatment

I hereby certify that I have carried out the above assessment in accordance with procedures specified within the Domestic Scottish Building Standards Technical Handbook (Environmental Standard 3.9 Infiltration Systems) and SEPA A WAT-RM-04, the results of which are tabulated above, and that the proposed drainage scheme detailed on the attached plans and report has been designed considering the recommendations in the standards and regulatory standards.

Signed ...

Date...08 November 2018

Name / Company

S. A. McGregor

Address

Serenje, Kingsford Steading, Alford, Aberdeenshire, AB33 8HN

Qualification

B.Eng (Civil Engineering).

CERTIFICATE FOR PROPOSED SURFACE WATER SOAKAWAY

Applicant's Name Mr I. Whitecross
Address c/o Ken Mathieson
Site Address Land NW of Cairnvonie, Archiestown, Moray
Date of Test.....27th September 2018 Weather...Sunny & Rain showers

Encountered Ground Conditions

Topsoil: The site is overlain by 300-350mm of topsoil. **Natural Sub-Soils:** The natural underlying sub-soils have an upper mantle of well consolidated stiff light orange brown silty sandy gravelly clay to depths in the range 1.30-1.70m below existing ground levels. Below the clay are medium dense light brown coarse sands (completely weathered rock) proved to a maximum investigated depth of 2.70m. **Bedrock:** In-tact bedrock was not encountered during this investigation.

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Wells: no known wells used for supply of potable water within 50m of site.

Depth of Drains:1.30m Depth of Excavations: ..up to 2.30m.....

Infiltration Test

SW1

Infiltration Test Zone (m)	1.30-2.30
Soil Infiltration Rate, f (m/s)	5.55×10^{-6}
Surface Area of Development	up to 200m²

Surface Water Stone-filled Infiltration Trench (Soakaway)

3.00m x 5.40m with 1.50m stone storage depth.

I hereby certify that I have carried out the above tests and calculations in accordance with BRE Digest 365 and in conjunction with the full requirements set out within the Domestic Scottish Building Standards Technical Handbook. The results of which are tabulated above, and that the proposed drainage scheme detailed within this report has been designed considering the recommendations in the standards.

Signed ...  Date...08 November 2018
Name / Company S. A. McGregor
Address Serenje, Kingsford Steading, Alford, Aberdeenshire, AB33 8HN
Qualification B.Eng(Civil Engineering).

**SITE NORTH OF KALITHEA, AT CAIRNVONIE FARM,
ARCHIESTOWN, MORAY**

PROPOSED DWELLING HOUSE & GARAGE



SUPPORTING AND PLANNING STATEMENT

PROPOSED DWELLINGHOUSE & GARAGE SITE NORTH OF KALITHEA, AT CAIRNVONIE FARM, ARCHIESTOWN, MORAY Supporting and Design Statement

Introduction

This statement has been prepared to support the application submitted by Ken Mathieson Architectural Design Ltd. on behalf of Mr & Mrs Iain Whitecross for the construction of a house with garage at the site North of Kalithea at Cairnvonie Farm, Archiestown. It should be read together with the submitted plans and other supporting information.

Site

The site extends to some 4353m/sq. It comprises an area of agricultural land with Manage riding school to the South West corner and Stables to the North East.

The site lies immediately to the North of the dwelling house named Kalithea with 2no additional dwelling houses to the South West named Old Croft & Newlands. To the South East of the site there is Cairnvonie Farm. The closest village is Archiestown located approximately 500m from the site access which contains various local amenities such as shops and restaurant. The East & West of the site is agricultural land with a forest to the far North. There is an existing access track to the South which connects to the B9102.

The site is surrounded by Timber post fence with trees and shrubs to the East & West.

The ground rises gently from the public road. The site is largely in agricultural use with equestrian equipment placed for training horses. There are no other features of interest on the site.

Archiestown is served by the 366 bus service.

Proposal

The application seeks full planning permission for the construction of a one and a half storey, four bedroom family house and detached double garage. The house will be set back into the site and positioned generally towards the North Western boundary. The house positioned to face the public road as per the surrounding dwellings. The house presents a symmetrical front elevation with windows either side of a front entrance porch and with dormers above, lining through with the ground floor windows. The house has a traditional, steeply pitched roof clad in natural slates, gable ends and on the rear elevation a single storey bay window.

External finishes are proposed to be white roughcast with a cement render base course with timber linings used for the front porch, rear wing and rear bay window.

The main elevation will make use of locally sourced reclaimed sand stone.

The double garage has similar roughcast and slate finishes with a 40 degree pitched roof.

Vehicular access will be from the existing farm track to the South East which will be upgraded. The junction of the track with the public road is close to the 30mph limit for the village.

Design

The brief is to produce a practical family house of high environmental performance which respects the quality of the area and maximises the existing features of the site.

The design of the proposed house has evolved as a result of careful consideration of the features of the site and the character of the area, to make the best possible use of the southerly aspect, to provide separation and shelter for the residents of the house and to avoid any conflict with the surrounding properties.

The shape and orientation of the site, the requirement to take access from the farm track and the relationship of existing manure & Stables, determined the position of the proposed house.



Site Layout Plan

Existing buildings in Archiestown are of a wide range of design and materials including traditional stone buildings and a number of modern houses with white roughcast walls and concrete roof tiles. The proposed house follows the use of roughcast walls to provide a building which recognizes the form of modern developments. The incorporation of a traditional steeply pitched roof with natural slate finish, vertically proportioned windows and detailing and the use of timber linings in certain areas and reclaimed sandstone will give a clean, crisp contemporary appearance whilst respecting the character of the area.



House Front Elevation

Function

The energy performance of the proposed house, which will meet the requirements of Supplementary Guidance SG LSD11: Carbon neutrality in new development, will be achieved primarily through the external envelope, following the 'fabric first' principle of achieving a high energy performance rating through the building envelope alone without reliance on additional micro-renewable technologies. The measures will include:-

- Improved thermal performance through floor, walls, roof construction and windows and doors.
- Improved heating controls including weather compensators / load compensators.
- Improved higher efficiency boilers.
- Air tightness.
- Improved construction techniques.

The benefits of this approach rather than introducing LZC technologies include:-

- 'Fit and forget', as all home owners merely have to come home, close the door and forget .

- Not solar dependant, and therefore optimises site design.
- Cost effective and does not require maintenance / replacement by home owners.
- Supported by NHBC, Insurers and Lenders.
- Drives better efficiencies out of the existing insulation products.

The house has been designed so that where at all feasible public rooms make use of south facing aspects which will enhance the environmental efficiency of the house. Shelter will be provided from the north by the large over hang to the rear entrance door.

The house has been designed as a family house and will meet all of the requirements of the building regulations in regard to accessibility standards. It will have an accessible layout with level access, activity spaces and circulation space, ground floor toilet and shower with provision for future alterations to provide a stair lift if required.

The house will meet the requirements of the Building Regulations as updated on 1 October 2015. A comprehensive Energy Statement will be submitted when the information is available through the preparation of detailed working drawings.

Detailed drainage arrangements for foul and surface water are shown on the submitted plans

The site is accessed by a farm track leading from the public road. It is anticipated that the existing road network can readily accommodate the new house.

Resources

The construction materials will be sourced locally as far as practicable to reduce embodied energy and will be durable throughout the life of the house.

The main elements of the house all comprise timber including the roof trusses, kit walls, partitions, facings and exterior wall cladding. This natural product will be taken from renewable sources.

Conclusion

The house design responds to the characteristics of the site in a sensitive way. The proposal is for a carefully sited, well designed family house built to high environmental standards which will be an asset to the area.

REPORT OF HANDLING

Ref No:	19/00318/APP	Officer:	Andrew Miller
Proposal Description/ Address	Erect dwellinghouse and garage at The Maltings Adjacent To Cairnvonie Farm Archiestown Moray		
Date:	09.05.2019	Typist Initials:	LMC

RECOMMENDATION

Approve, without or with condition(s) listed below	N	
Refuse, subject to reason(s) listed below	Y	
Legal Agreement required e.g. S,75	N	
Notification to Scottish Ministers/Historic Scotland	N	
Hearing requirements	Departure	N
	Pre-determination	N

CONSULTATIONS

Consultee	Date Returned	Summary of Response
Environmental Health Manager	28/03/19	No objections.
Contaminated Land	02/04/19	No objections.
Transportation Manager	29/03/19	No objections subject to conditions in relation to access and parking.
Scottish Water	28/03/19	No objections.
Moray Flood Risk Management	02/04/19	No objections.
Planning And Development Obligations	08/01/19	Obligations sought towards healthcare (reconfiguration of Aberlour Health Centre and an additional dental chair).

DEVELOPMENT PLAN POLICY

Policies	Dep	Any Comments (or refer to Observations below)
H7: New Housing in the Open Countryside	Y	
EP5: Sustainable Urban Drainage Systems	N	
EP9: Contaminated Land	N	
EP10: Foul Drainage	N	
T2: Provision of Access	N	
T5: Parking Standards	N	
IMP1: Developer Requirements	Y	
IMP3: Developer Obligations	N	
PP3 Infrastructure & Services	N	

DP1 Development Principles	Y	
DP4 Rural Housing	Y	
EP12 Management and Enhancement of the	N	
EP13 Foul Drainage	N	

REPRESENTATIONS

Representations Received		NO
Total number of representations received		
Names/Addresses of parties submitting representations		
Summary and Assessment of main issues raised by representations		
Issue:		
Comments (PO):		

OBSERVATIONS – ASSESSMENT OF PROPOSAL

Legislative Requirements

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 (as amended) require applications for planning permission to be determined in accordance with the development plan (i.e. the Moray Local Development Plan 2015 (MLDP)) unless material considerations indicate otherwise.

On 18 December 2018, at a special meeting of the Planning and Regulatory Services Committee, the Proposed Moray Local Development Plan 2020 was approved as the "settled view" of the Council and minimal weight will be given to it, with the 2015 MLDP being the primary consideration.

The main planning issues are considered below.

Site

An area of rough grazing ground to the north of a small group of houses (three) at Robertstown, some 400 metres to the east of Archiestown. The site is circa 150 metres to the north of the B9102 (Dandaleith to Grantown road). A Manège is within the site to the south (albeit unconsented).

Proposal

Consent is sought for the erection of a house with detached garage. The house would be one and a half storey with dormer windows, finished in a mix of roughcast, sandstone and larch to the external walls, natural slate roof and white PVCu windows and doors. The detached double garage would be finished in roughcast walls, a natural slate roof and grey steel doors. Surface water would drain to a soakaway, and foul drainage via a septic tank and soakaway. The house would be served by the public water supply.

Housing in the Countryside (H7)

As the site falls out with a defined settlement, policy H7 (Housing in the Countryside) is applicable. Policy H7 is supported by Supplementary Guidance - Housing in the Countryside Guidance; and the Guidance Note on Landscape and Visual Impacts of Cumulative Build-Up of Houses in the Countryside. The latter identifies areas where a build-up of rural housing has eroded the rural landscape character of particular "hotspots". A relatively large area to the east of Archiestown in which this site is located is identified as having a build-up of housing, and within that a number of hotspots are identified - with this site being located within one. The application was advertised as a

departure from the Local Development Plan in this regard.

Whilst the guidance does note that there may be limited scope for providing additional houses in this area, there are a number of properties within close proximity to this site. In addition, the site lies close to the settlement of Archiestown. The development of an additional house in this location is considered to contribute to a build-up of rural housing in the area, whereby the build-up creates a suburban pattern of development alien to the rural character of the surrounding countryside, itself typified by dispersed small farms. This would also be detrimental to the setting of nearby Archiestown, with the need to ensure the setting of settlement itself remains distinguishable from the surrounding rural landscape.

Although the design of the house itself is suitable for the rural location, taking account of the above considerations, the proposal is considered to fail to comply with policy H7 and its associated guidance due to inappropriate siting. The proposal is also contrary to policy IMP1 due to its adverse impact on the character of the surrounding area.

Drainage (EP5, EP10)

Surface water would be treated via a surface water soakaway, in line with the requirements of policy EP5, whilst foul drainage would be treated via a septic tank and soakaway, in line with policy EP10.

Parking and Access (T2, T5)

Access to the site would be via an existing access to the B9102. Details have been provided to demonstrate that the visibility can be provided. Subject to conditions as recommended, the proposed access arrangements are considered acceptable and would comply with policy T2. Sufficient parking has also been provided within the curtilage of the site, in line with policy T5.

Developer Obligations (IMP3)

In order to mitigate against any adverse impact a development may have upon existing infrastructure and facilities, policy IMP3 puts in place the provision to seek developer obligations appropriate to reduce, eliminate or compensate for the impact. Following assessment in accordance with the Council's Supplementary Guidance on Developer Obligations (adopted March 2018), obligations have been sought in this instance to mitigate the impact on healthcare. As this application has been recommended for refusal, these obligations were not pursued, however were this application to be approved, then obligations should be sought by means of an appropriate agreement.

Recommendation

Refusal is recommended.

OTHER MATERIAL CONSIDERATIONS TAKEN INTO ACCOUNT

None

HISTORY

Reference No.	Description		
	Decision		Date Of Decision

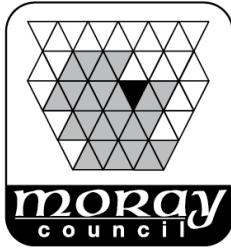
ADVERT		
Advert Fee paid?	Yes	
Local Newspaper	Reason for Advert	Date of expiry
Northern Scot	No Premises Departure from development plan	25/04/19
PINS	No Premises Departure from development plan	25/04/19

DEVELOPER CONTRIBUTIONS (PGU)	
Status	CONT SOUGHT

DOCUMENTS, ASSESSMENTS etc. *		
* Includes Environmental Statement, Appropriate Assessment, Design Statement, Design and Access Statement, RIA, TA, NIA, FRA etc		
Supporting information submitted with application?	YES	
Summary of main issues raised in each statement/assessment/report		
Document Name:	Drainage Report	
Main Issues:	Details the ground conditions on site and the proposed drainage arrangement.	
Document Name:	Planning Statement	
Main Issues:	Details the ground conditions on site and the proposed drainage arrangement.	

S.75 AGREEMENT		
Application subject to S.75 Agreement		NO
Summary of terms of agreement:		
Location where terms or summary of terms can be inspected:		

DIRECTION(S) MADE BY SCOTTISH MINISTERS (under DMR2008 Regs)			
Section 30	Relating to EIA		NO
Section 31	Requiring planning authority to provide information and restrict grant of planning permission		NO
Section 32	Requiring planning authority to consider the imposition of planning conditions		NO
Summary of Direction(s)			



**MORAY COUNCIL
TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997,
as amended**

REFUSAL OF PLANNING PERMISSION

**[Speyside Glenlivet]
Application for Planning Permission**

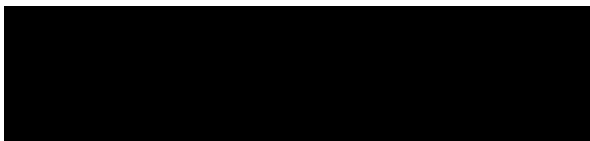
TO Mr Iain Whitecross
c/o Ken Mathieson Architectural Design Ltd
Mansard House
15 Oldmeldrum Road
Bucksburn
Aberdeen
Scotland
AB21 9AD

With reference to your application for planning permission under the above mentioned Act, the Council in exercise of their powers under the said Act, have decided to **REFUSE** your application for the following development:-

**Erect dwellinghouse and garage at The Maltings Adjacent To Cairnvonie Farm
Archiestown Moray**

and for the reason(s) set out in the attached schedule.

Date of Notice: **10 May 2019**



HEAD OF DEVELOPMENT SERVICES
Environmental Services Department
Moray Council
Council Office
High Street
ELGIN
Moray
IV30 1BX

IMPORTANT
YOUR ATTENTION IS DRAWN TO THE REASONS and NOTES BELOW

SCHEDULE OF REASON(S) FOR REFUSAL

By this Notice, Moray Council has REFUSED this proposal. The Council's reason(s) for this decision are as follows: -

The proposal is contrary to the provisions of the Moray Local Development Plan 2015 because the proposal would contribute to an inappropriate build-up of development that would be detrimental to the rural character of the surrounding area, contrary to policies H7 (Housing in the Countryside) and IMP1 (Developer Requirements), as well as the Supplementary Guidance on Housing in the Countryside.

This is further supported by the Moray Local Development Plan supplementary Guidance Note on Landscape and Visual Impacts of Cumulative Build-Up of Houses in the Countryside, whereby the site is located in an area where a build-up of housing (built and consented) is considered to have an adverse impact on the character of the surrounding rural area. The development of a house on this site would further exacerbate this.

Whilst limited weighting is given to it, the proposal is also contrary to the Proposed Moray Local Development Plan 2020 (policies DP1 (Developer Requirements) and DP4 (Rural Housing)).

LIST OF PLANS AND DRAWINGS SHOWING THE DEVELOPMENT

The following plans and drawings form part of the decision:-

Reference	Version	Title
002	D	Site plan garage elevations and floor plan
003	A	Site and location plan
001	C	Elevations and floor plans

NOTICE OF APPEAL
TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997

If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to The Clerk, Moray Council Local Review Body, Legal and Committee Services, Council Offices, High Street, Elgin IV30 1BX. This form is also available and can be submitted online or downloaded from

www.eplanning.scotland.gov.uk

If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

