



The Moray Council Council Office High Street Elgin IV30 1BX Tel: 0300 1234561 Email: [development.control@moray.gov.uk](mailto:development.control@moray.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100644844-007

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- ☒ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☐ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Revise house design approved under planning consent ref: 23/01668/APP on Site At Station Road, Burghead, Elgin

Is this a temporary permission? \*

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?  
(Answer 'No' if there is no change of use.) \*

☐ Yes ☒ No

Has the work already been started and/or completed? \*

☒ No ☐ Yes – Started ☐ Yes - Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Grant and Geoghegan Ltd.		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Neil	Building Name:	Grant Lodge
Last Name: *	Grant	Building Number:	
Telephone Number: *	07769744332	Address 1 (Street): *	Birnie
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	ELGIN
Fax Number:		Country: *	Scotland
		Postcode: *	IV30 8SW
Email Address: *	neil@ggmail.co.uk		
Is the applicant an individual or an organisation/corporate entity? *			
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Organisation/Corporate entity			

## Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	per grant and geoghegan
First Name: *	Stafford	Building Number:	
Last Name: *	Turnidge	Address 1 (Street): *	Grant Lodge
Company/Organisation		Address 2:	Birnie
Telephone Number: *		Town/City: *	ELGIN
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	IV30 8SW
Fax Number:			
Email Address: *	neil@ggmail.co.uk		

## Site Address Details

Planning Authority:

Moray Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Site At Station Road, Burghead, Elgin

Northing

868975

Easting

311004

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

☐ Yes ☒ No

## Site Area

Please state the site area:

236.00

Please state the measurement type used:

☐ Hectares (ha) ☒ Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

Disused shed with planning consent reference 23/01668/APP to demolish shed and erect dwellinghouse on Site At Station Road, Burghead

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

☐ Yes ☒ No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>	
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?</p>	<div style="border: 1px solid black; padding: 2px 10px;">2</div>
<p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *</p>	<div style="border: 1px solid black; padding: 2px 10px;">2</div>
<p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>	
<h2 style="margin: 0;">Water Supply and Drainage Arrangements</h2>	
<p>Will your proposal require new or altered water supply or drainage arrangements? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *</p> <p><input checked="" type="checkbox"/> Yes – connecting to public drainage network</p> <p><input type="checkbox"/> No – proposing to make private drainage arrangements</p> <p><input type="checkbox"/> Not Applicable – only arrangements for water supply required</p>	
<p>Do your proposals make provision for sustainable drainage of surface water?? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (e.g. SUDS arrangements) *</p> <p>Note:-</p> <p>Please include details of SUDS arrangements on your plans</p> <p>Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>	
<p>Are you proposing to connect to the public water supply network? *</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<h2 style="margin: 0;">Assessment of Flood Risk</h2>	
<p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p>	
<h2 style="margin: 0;">Trees</h2>	
<p>Are there any trees on or adjacent to the application site? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<h2 style="margin: 0;">Waste Storage and Collection</h2>	
<p>Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	

If Yes or No, please provide further details: \* (Max 500 characters)

To Local Authority requirements

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

☒ Yes ☐ No

How many units do you propose in total? \*

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

☐ Yes ☒ No

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013? \*

☐ Yes ☒ No ☐ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

☐ Yes ☒ No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

☒ Yes ☐ No

Is any of the land part of an agricultural holding? \*

☐ Yes ☒ No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

# Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Neil Grant

On behalf of: Mr Stafford Turnidge

Date: 31/01/2025

☒ Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

☐ Yes ☐ No ☒ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- ☒ Site Layout Plan or Block plan.
- ☒ Elevations.
- ☒ Floor plans.
- ☐ Cross sections.
- ☐ Roof plan.
- ☐ Master Plan/Framework Plan.
- ☐ Landscape plan.
- ☐ Photographs and/or photomontages.
- ☐ Other.

If Other, please specify: \* (Max 500 characters)

Provide copies of the following documents if applicable:

- |  |  |
|--|--|
| A copy of an Environmental Statement. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. *                                   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. *   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Drainage Assessment

## Declare – For Application to Planning Authority

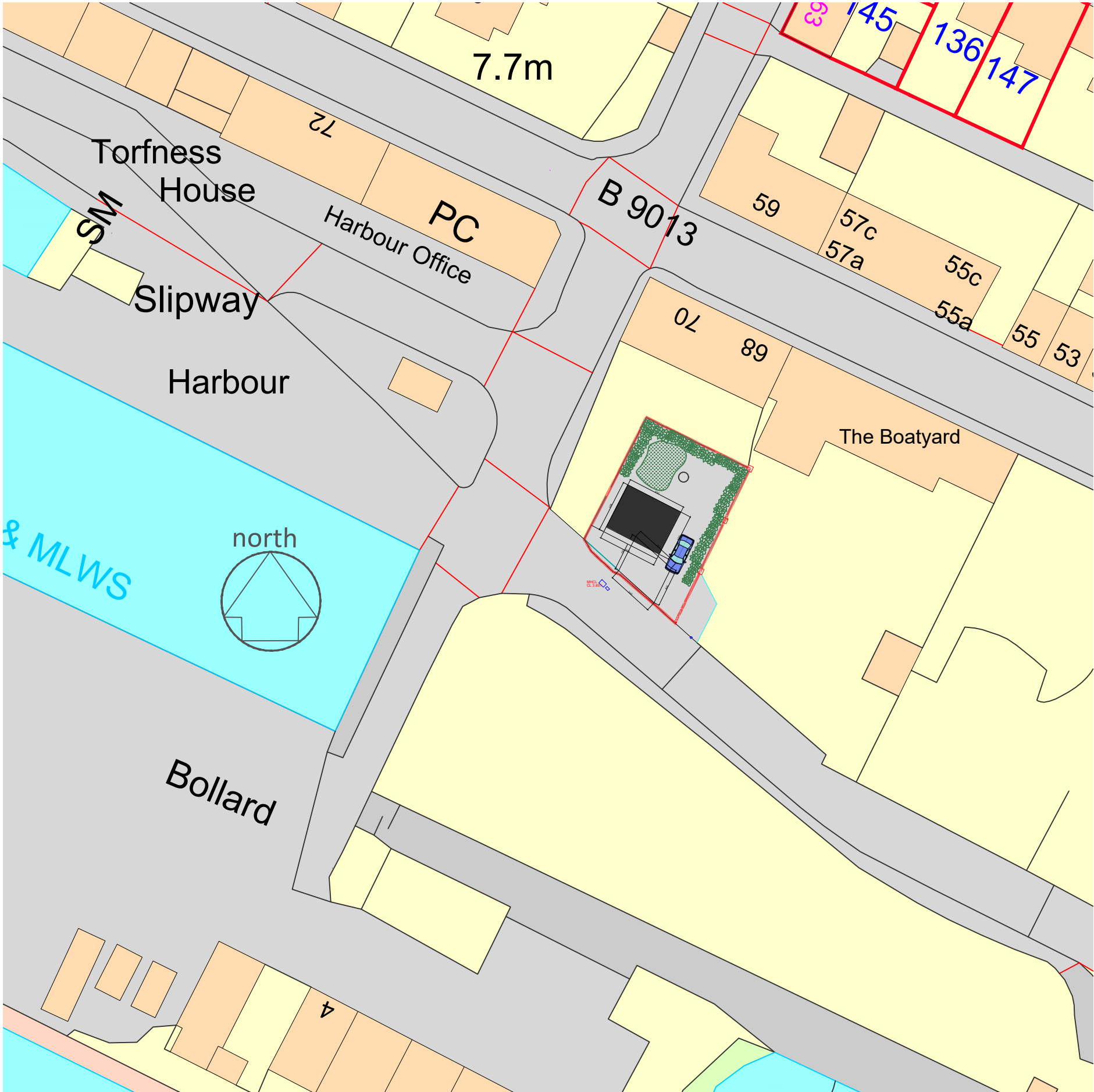
I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Neil Grant

Declaration Date: 22/09/2023







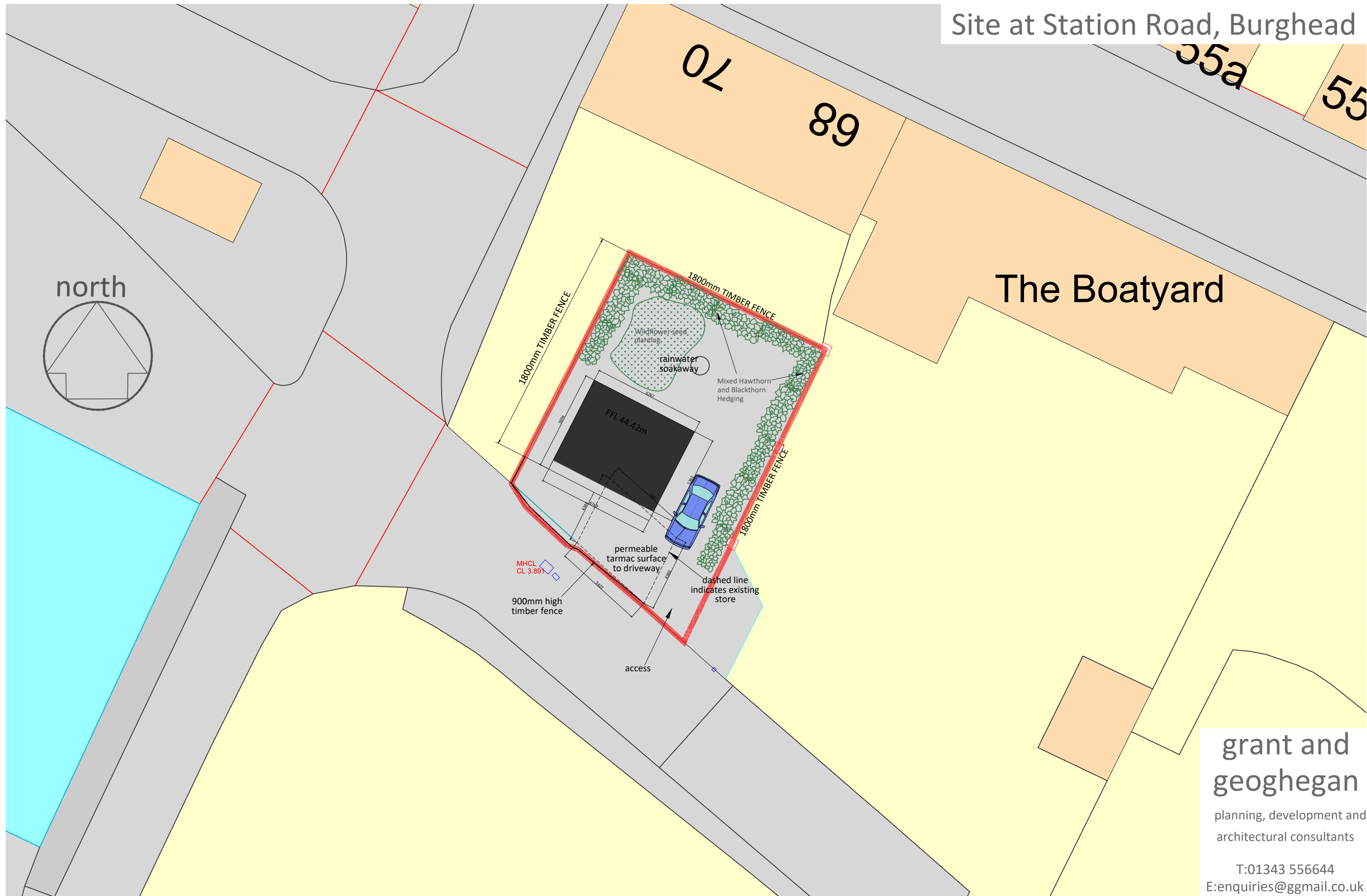
LOCATION PLAN

grant and  
geoghegan

planning, development and  
architectural consultants

T:01343 556644  
E:enquiries@gmail.co.uk



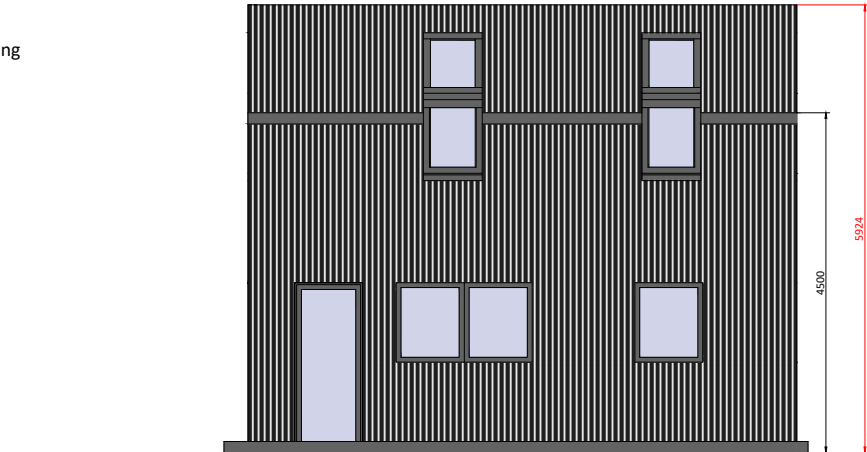




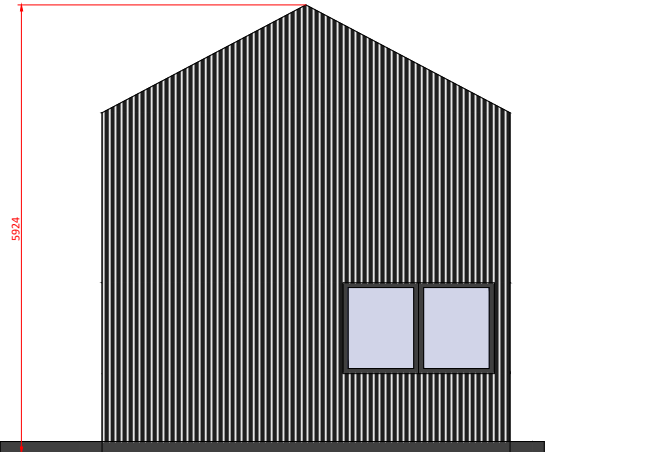
EXTERNAL FINISHES

- ROOF  
Black metal cladding
- WALLS  
Black timber cladding
- Windows  
Black

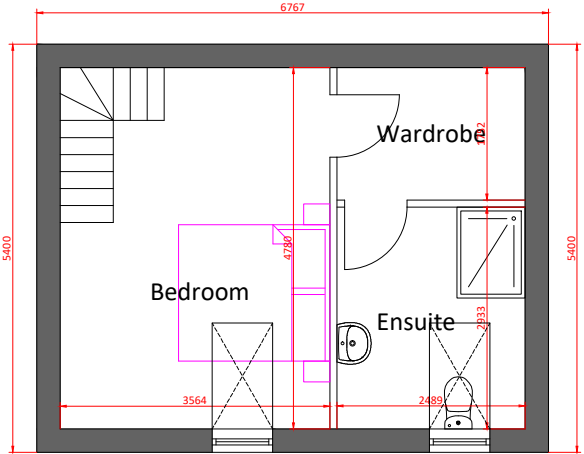
Site at Station Road, Burghead



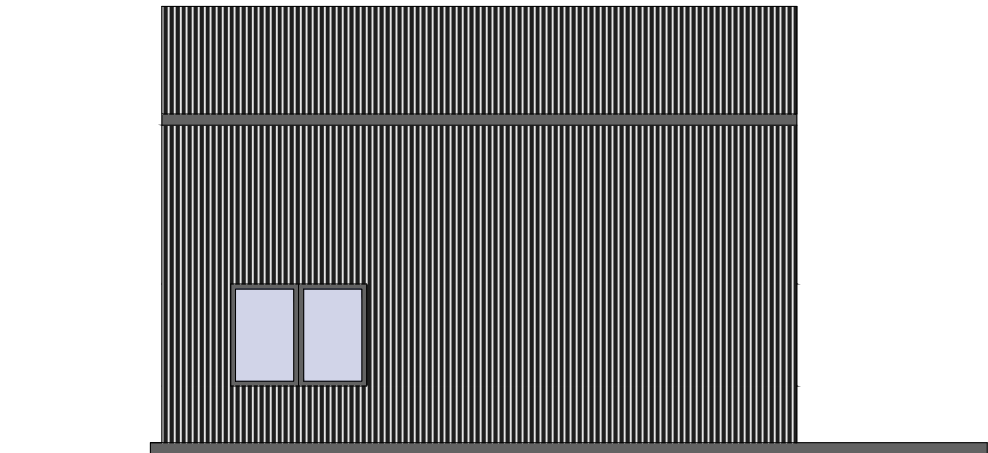
Southwest Elevation



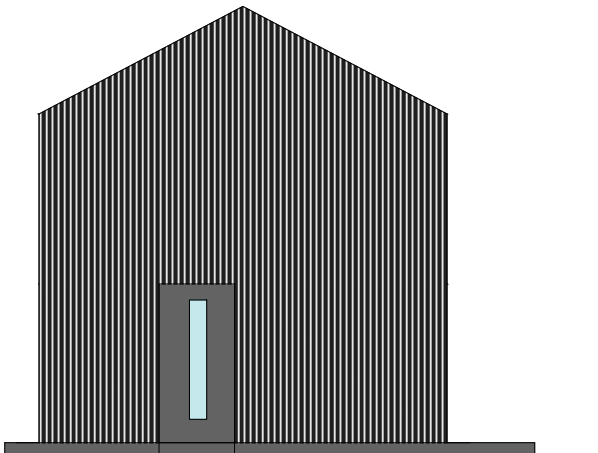
Northwest Elevation



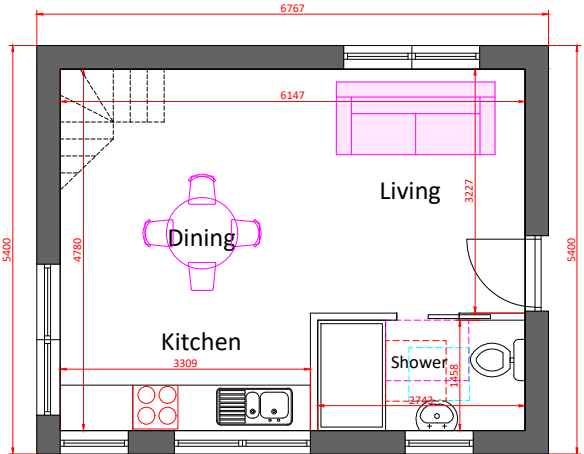
First Floor Plan



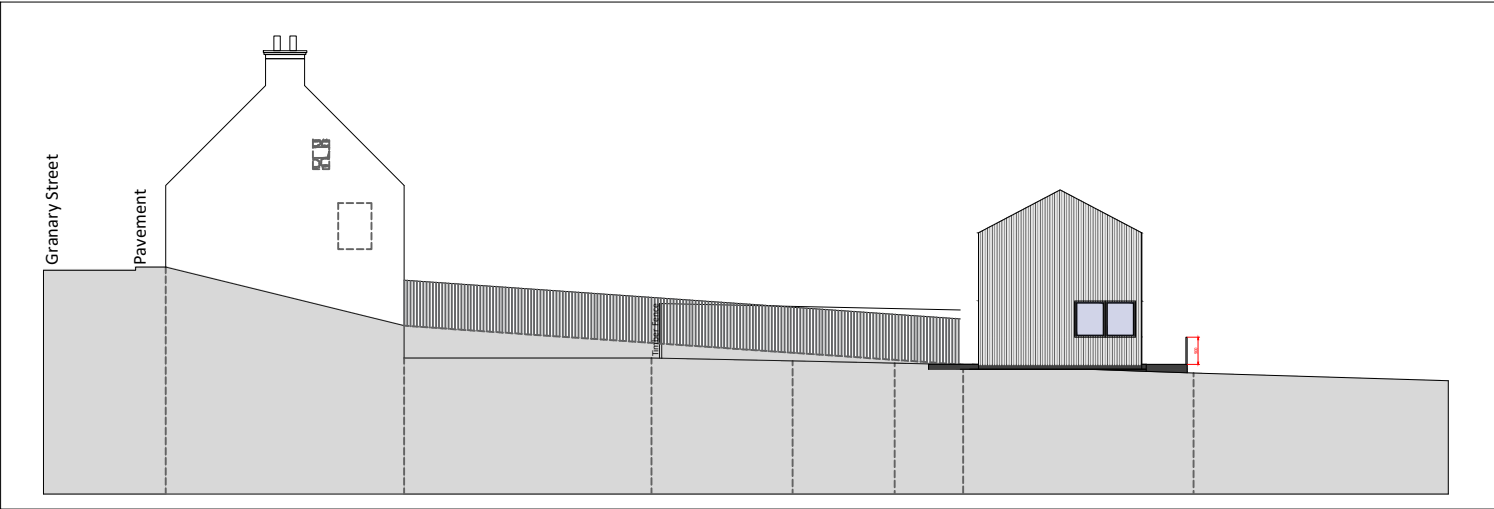
Northeast Elevation



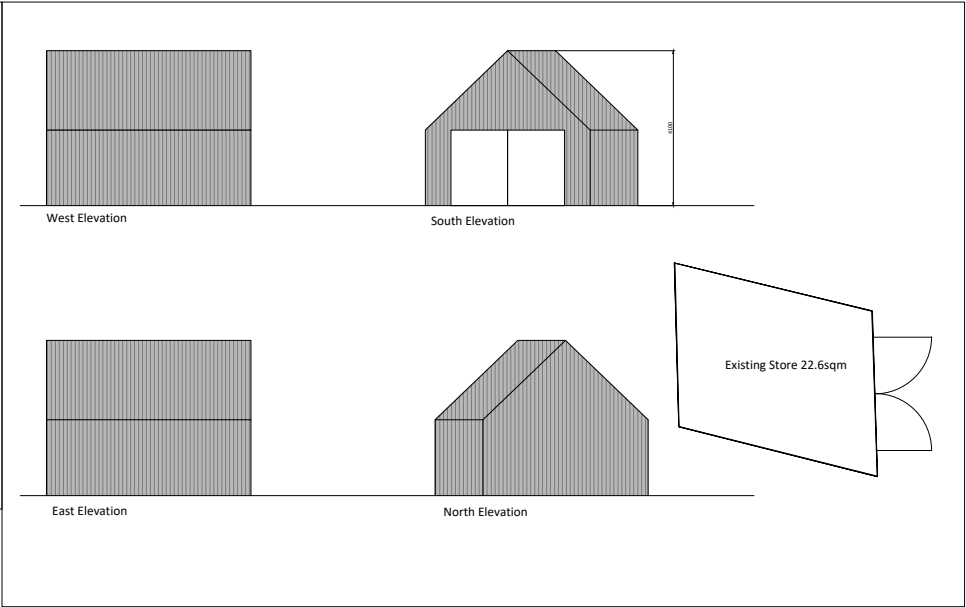
Southeast Elevation



Ground Floor Plan



Cross section through site

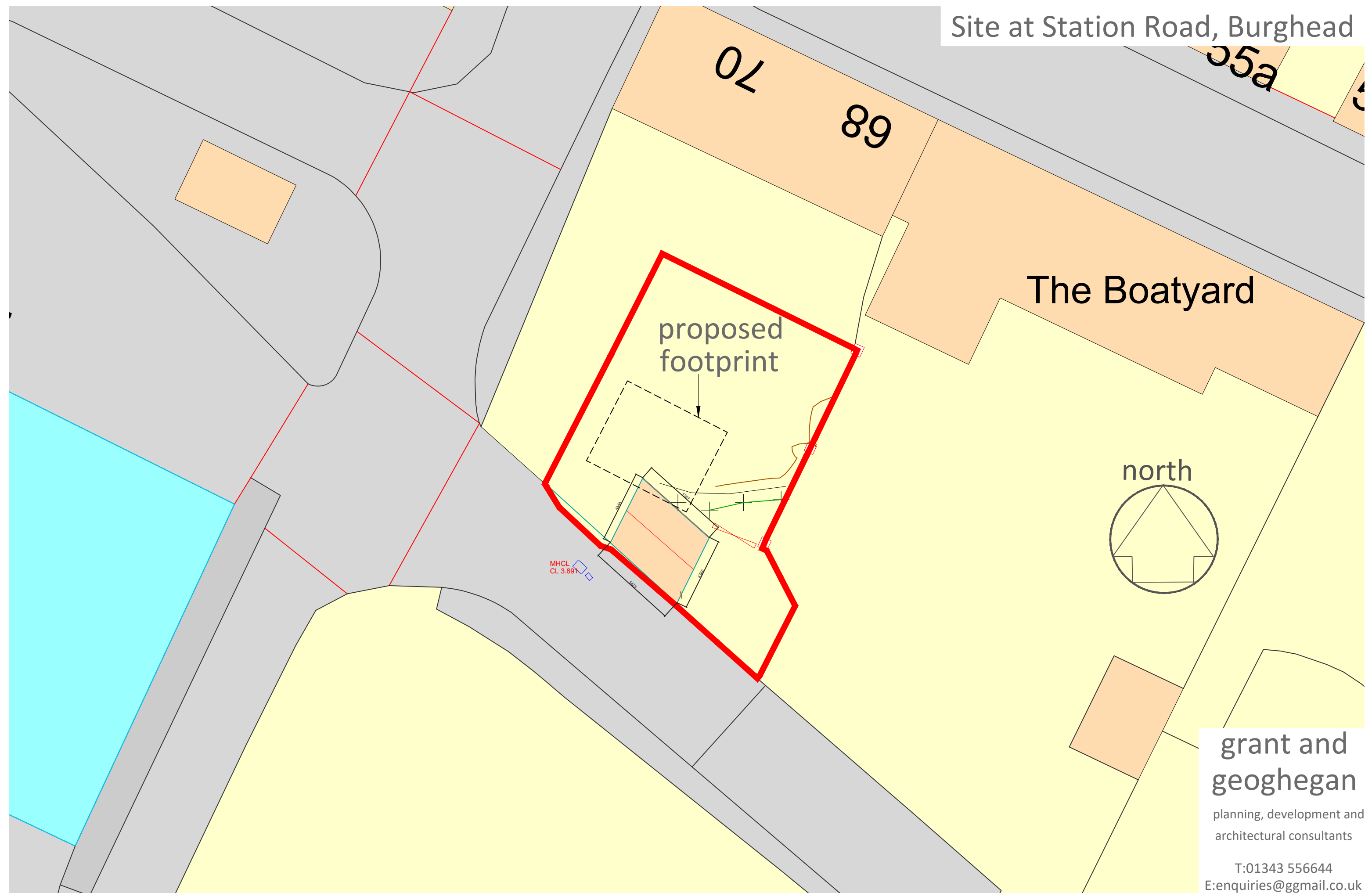


grant and  
geoghegan

planning, development and  
architectural consultants

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E:enquiries@gmail.co.uk





The Boatyard

proposed  
footprint

north

grant and  
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planning, development and  
architectural consultants

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E:enquiries@ggmail.co.uk





1<sup>st</sup> September 2023

Project No: 313887

## Drainage Assessment: Proposed Dwelling located at Station Road, Burghead

Prepared for:

**Mr Stafford Turnidge**

62 Mayne Road

Elgin

IV30 1PD

### Contents Amendment Record

This report has been issued and amended as follows:

Revision	Description	Date	Signed
1.0	First Issue	1 <sup>st</sup> September 2023	G Mackintosh



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## Acknowledgement

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This report has been prepared for the sole and exclusive use of Mr Stafford Turnidge in accordance with the scope of work presented by Mabbett & Associates Ltd (Mabbett) via email dated 18<sup>th</sup> August 2023. This report is based on information and data collected by Mabbett. Should any of the information be incorrect, incomplete or subject to change, Mabbett may wish to revise the report accordingly.

This report has been prepared by the following Mabbett personnel:

MABBETT & ASSOCIATES LTD



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Gary Mackintosh BSc  
Principal Engineer

This report has been reviewed and approved by the following Mabbett personnel:

MABBETT & ASSOCIATES LTD



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James Forbes, CEng, CEnv, CWEM, MCIWEM  
Director, Engineering

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## Section 1.0 Introduction

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Mabbett & Associates Ltd (Mabbett) was commissioned by Mr Stafford Turnidge to undertake an assessment of the surface water management options for a proposed new dwelling to be located within land adjacent to Station Road, Burghead.

### 1.1 Introduction to Surface Water Treatment

With regard to surface water treatment and dispersal, Regulation 3.6 of the Building (Scotland) Regulations 2004, as reproduced below, states that:

*Every building and hard surface within the curtilage of a building, must be designed and constructed with a surface water drainage system that will:*

- (a) ensure the disposal of surface water without threatening the building and the health and safety of the people in and around the building; and*
- (b) have facilities for the separation and removal of silt, grit and pollutants.*

Section 3.6.3 of the Technical Handbook provides methods of discharging surface water that, if employed, would meet the requirements of the authorities.

With regard to SEPA's requirements, General Binding Rule (GBR) 10, in pursuance of the Water Environment (Controlled Activities) (Scotland) Regulations 2011, states that the provision of a sustainable urban drainage system (SUDS) is required unless the discharge arises from a single house or if the discharge is to be made to coastal waters. GBR10 and the relevant associated rule is outlined overleaf.

SEPA and Building Regulations require that infiltration systems (soakaways) are located at least:

- 50m from any spring, well or borehole used as drinking water supply
- 10m horizontally from any water course and any inland and coastal waters, permeable drain (including culvert), road or railway
- 5m from a building or boundary

## Section 2.0 Site Information and Ground Conditions

### 2.1 Existing Ground Conditions

Trial pits were excavated by a mechanical digger on 21<sup>st</sup> August 2023 to assess the existing soils and their suitability for the use of sub surface soakaways as a method surface water management.

The trial pits were excavated to a depth of 1.7m

The existing soils consist of 300 Topsoil overlying light brown, medium to loose, fine slightly gravelly Sands proved to the depth of the excavations. The gravels were rounded in nature.

There was no evidence of contamination or water table present within the trial pits and the natural soils have a minimum allowable bearing capacity of 100kn/m<sup>2</sup>.

### 2.2 Flood Risk

The SEPA Flood Maps have been consulted which indicate that the property and surrounding area lie out with any areas of potential fluvial and pluvial flooding during a 1 in 200year event therefore the property is considered to be at low risk.

### 2.3 Infiltration Testing

Infiltration testing was carried out in full accordance with BRE digest 365 and the results can be found in the table below:

Infiltration Test Hole No	Pit Dimensions (w/l)	Test Zone (mgl)	Infiltration Rate (m/s)
INF01	0.8m x 1.0m	1.0m - 1.7m	4.92 x 10 <sup>-5</sup>

## Section 3.0 Surface Water

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### 3.1 Minimum System Requirements

In pursuit of compliance with Regulation 3.6 of the Building (Scotland) Regulations 2004, Section 3.6.3 of the Technical Handbook provides methods of discharging surface water that, if employed, would meet the requirements:

- (a) *a SUD system designed and constructed in accordance with clause 3.6.4;*
- (b) *a soakaway constructed in accordance with:*
  - *clause 3.6.5;*
  - *the guidance in BRE Digest 365, 'Soakaway Design', or*
  - *National Annex NG 2 of BS EN 752-4: 1998;*
- (c) *A public sewer provided under the Sewerage (Scotland) Act 1968;*
- (d) *An outfall to a watercourse, such as a river, stream or loch or coastal waters, that complies with any notice and/or consent by SEPA, or*
- (e) *If the surface water is from a dwelling, to a storage container with an overflow discharging to either of the 4 options above.*

The area to be drained consists of the roof of the dwelling and associated hardstandings.

### 3.2 Recommendation - Surface Water

Mabbett recommends that a new standard stone filled surface water soakaway be installed to manage the runoff from the new extension roof area only.

Please see the calculations within Appendix 2 detailing the requirement and suitability of a Precast Perforated concrete soakaway ring with a diameter of 900mm, a 300mm surround of 40mm clean stone and a depth of 1.0m below the invert of the inlet. The soakaway size is based on a contributing area of 70m<sup>2</sup> (Roof area shown in drawings with extra over) up to a 1:30year event with 42% allowance for climate change.

Soakaway Details have been included within Appendix 3.

## **Section 4.0    Disclaimer**

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The content of this assessment is for internal use only and should not be distributed to third parties unless under the expressed authority of our client. The designs, recommendations and outline proposals shall remain the property of Mabbett & Associates Ltd and shall not be plagiarised in any form without authority to do so. The comments and recommendations stipulated are solely those expressed by Mabbett & Associates Ltd, and both parties understand that the comments and recommendations expressed are not binding. Mabbett & Associates Ltd confirms that reasonable skill, care, and diligence have been applied and that any design element has been carried out using verifiable and approved reference documentation. No responsibility shall be assumed by Mabbett & Associates Ltd for system failure as a result of incorrect installation work by contractors assigned by the client or incorrect or inappropriate implementation of Mabbett & Associates Ltd's recommendations.

## **Section 5.0    References**

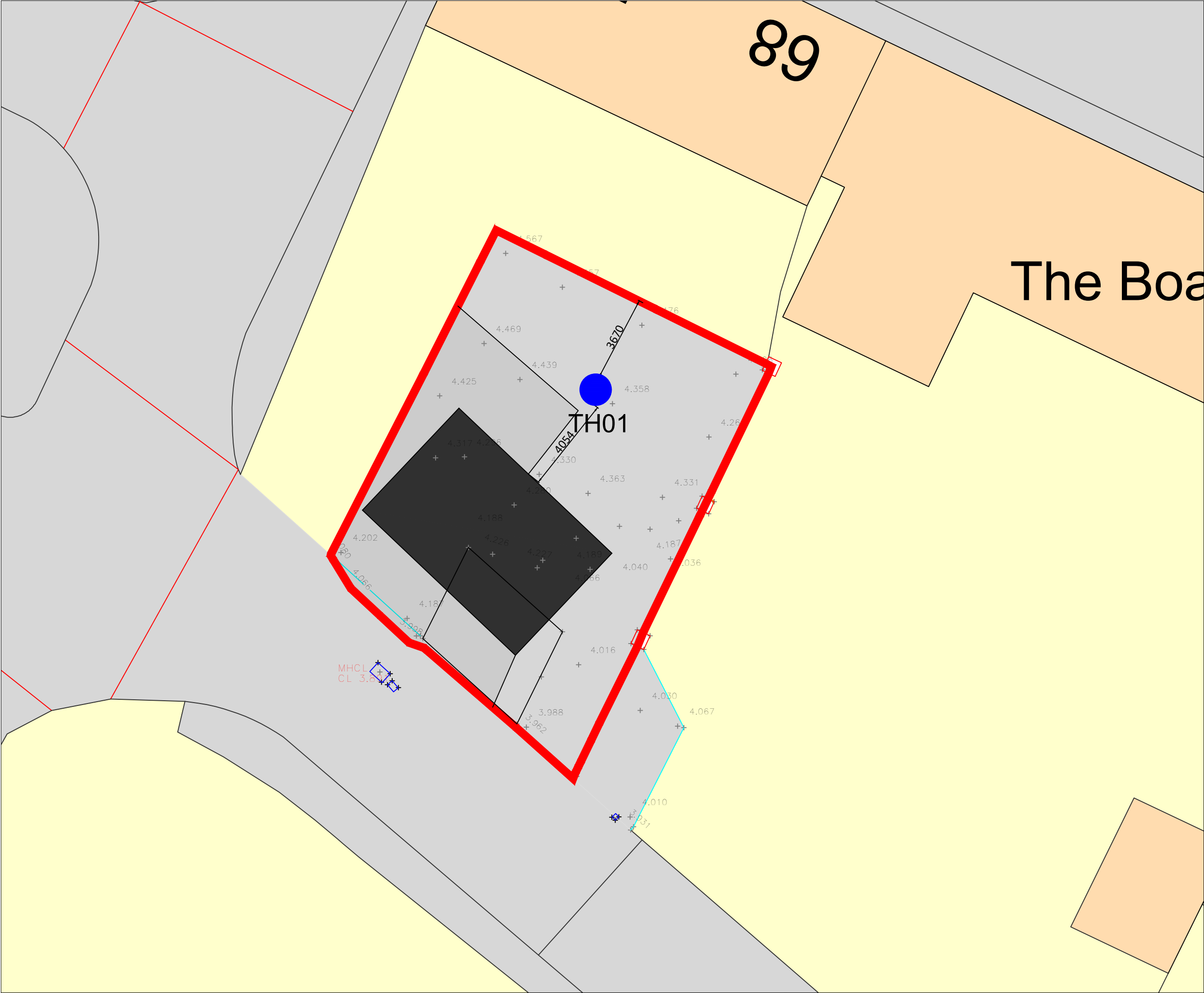
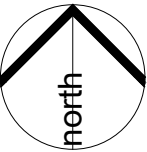
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Building (Scotland) Regulations 2004

The Scottish Building Standards: Technical Handbook 2019: Domestic



## **Appendix 1: Site Plan and Approximate Test Hole Location**




Rev.	Description	Drawn	Date
------	-------------	-------	------

Mabbett®

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Willow House  
Stoneyfield Business Park  
Inverness IV2 7PA  
Tel: 01463 237229  
www.mabbett.eu



Client  
Mr Stafford Turnidge

Project  
Proposed Dwelling  
Station Road  
Burghead

Drawing  
Site Layout/  
Test Hole Location

Status  
Issue

Scale NTS Sheet A3

Drawn GM Check JF Date 01/09/23

Drawing No: 313887 PL01 Rev X

## **Appendix 2: Surface Water Soakaway Calculations**



Company <b>Mabbett &amp; Associates</b>				Project <b>Station Road, Burghead</b>	
Item <b>Surface Water Soakaway</b>				Job Ref <b>313887</b>	Sheet no. <b>1</b>
MasterDrain	Calc. by <b>GM</b>	Date <b>01/09/23</b>	Checked by	Date	Approved by Date

Concrete ring design:-

Ring diameter = 900 mm  
Percentage voids = 30.0  
Climate change = 42%

Return period = 30 yrs  
Imperm. area = 70m<sup>2</sup>  
Infiltration factor = 0.17712 m/hr

Depth below invert = 1m  
Pit side length = 1.5m

Calculations :-

Surface area of soakaway to 50% depth -

$$a_{s50} = \text{Length of side} \times 4 \times \text{Depth}/2 = 3.0 \text{ m}^2 \quad (\text{base not included}).$$

Outflow factor -

$$O_{\text{Fact}} = a_{s50} \times f = 0.53136 \text{ m}^3/\text{s} \quad \text{where Infiltr. factor } (f) = 0.17712 \text{ m/hr}$$

Soakaway ring storage volume -

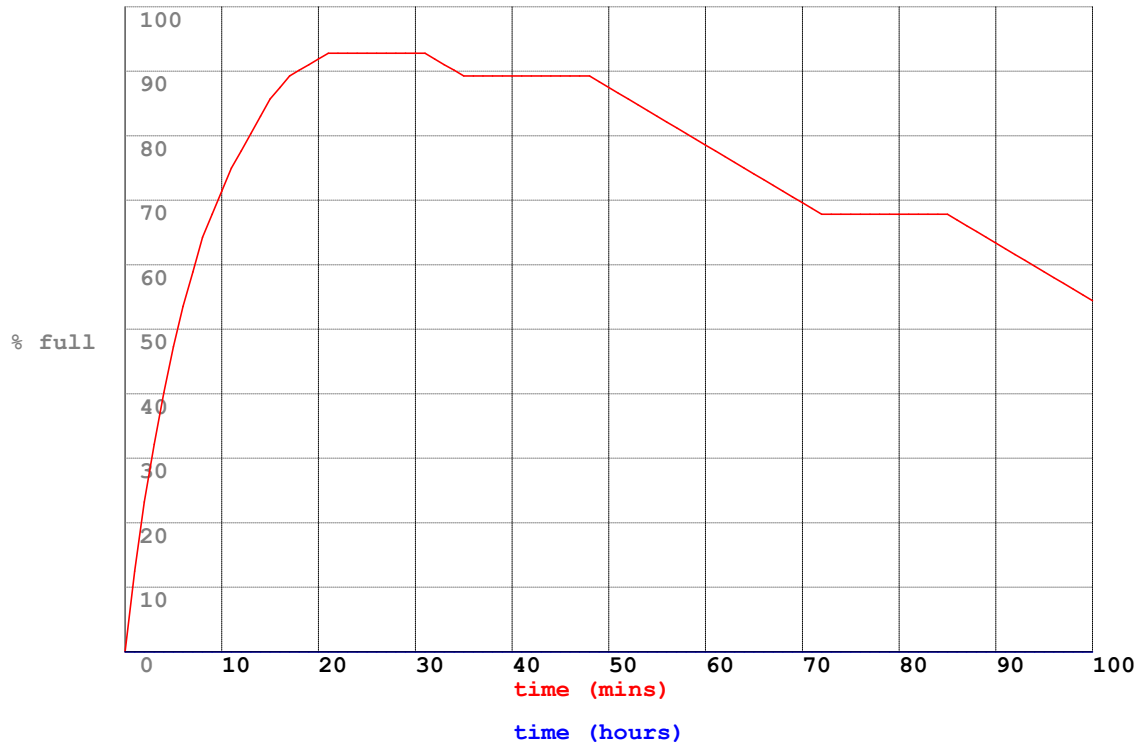
$$S_{\text{actual}} = \text{Pi} \times (\text{Ring diam}/2000)^2 \times \text{depth} = 0.6 \text{ m}^3$$

Gross soakaway pit storage volume -

$$S_{\text{pit}} = \text{Length of side}^2 \times \text{depth} = 2.2 \text{ m}^3$$

Nett soakaway pit storage volume -

$$S_{\text{nett}} = \text{Gross pit volume} - \text{infill (half depth)} = 1.1 \text{ m}^3 \quad (\text{storage} + \text{void})$$



$$\text{Required volume } (S_{\text{reqd}}) = 1.0 \text{ m}^3$$

$$\text{Available storage volume} = 1.1 \text{ m}^3$$

$$\text{Spare capacity} = 0.08 \text{ m}^3$$

$$\text{Emptying time to 50\% volume} = \text{N/A hours}$$

Soakaway emptying time OK.

Soakaway dimensions OK.



Company <b>Mabbett &amp; Associates</b>				Project <b>Station Road, Burghead</b>	
Item <b>Soakaway data - 100 mins</b>				Job Ref <b>313887</b>	Sheet no. <b>2</b>
MasterDrain	Calc. by <b>GM</b>	Date <b>01/09/23</b>	Checked by	Date	Approved by
					Date

Duration	Rain mm/hr	Inflow m³	Outflow m³	Storage m³	Depth m	% full		Duration	Rain mm/hr	Inflow m³	Outflow m³	Storage m³	Depth m	% full
1	126.56	0.15	0.007	0.14	0.12	12		51	29.29	0.03	0.044	0.97	0.87	12
2	113.79	0.13	0.012	0.26	0.23	23		52	28.96	0.03	0.044	0.96	0.86	23
3	103.91	0.12	0.016	0.36	0.32	32		53	28.63	0.03	0.043	0.95	0.85	32
4	95.99	0.11	0.021	0.45	0.40	40		54	28.32	0.03	0.043	0.94	0.84	40
5	89.47	0.10	0.024	0.53	0.47	47		55	28.01	0.03	0.042	0.93	0.83	47
6	83.99	0.10	0.027	0.60	0.54	54		56	27.71	0.03	0.042	0.92	0.82	54
7	79.30	0.09	0.030	0.66	0.59	59		57	27.42	0.03	0.041	0.91	0.81	59
8	75.24	0.09	0.033	0.72	0.64	64		58	27.14	0.03	0.041	0.90	0.80	64
9	71.68	0.08	0.035	0.76	0.68	68		59	26.86	0.03	0.041	0.89	0.79	68
10	68.52	0.08	0.037	0.80	0.71	71		60	26.60	0.03	0.040	0.88	0.79	71
11	65.70	0.08	0.038	0.84	0.75	75		61	26.33	0.03	0.040	0.87	0.78	75
12	63.16	0.07	0.040	0.87	0.78	78		62	26.08	0.03	0.039	0.86	0.77	78
13	60.87	0.07	0.041	0.90	0.80	80		63	25.83	0.03	0.039	0.85	0.76	80
14	58.77	0.07	0.042	0.93	0.83	83		64	25.58	0.03	0.038	0.84	0.75	83
15	56.85	0.07	0.044	0.96	0.86	86		65	25.34	0.03	0.038	0.83	0.74	86
16	55.09	0.06	0.044	0.98	0.87	87		66	25.11	0.03	0.038	0.82	0.73	87
17	53.46	0.06	0.045	1.00	0.89	89		67	24.88	0.03	0.037	0.81	0.72	89
18	51.95	0.06	0.046	1.01	0.90	90		68	24.66	0.03	0.037	0.80	0.71	90
19	50.54	0.06	0.047	1.02	0.91	91		69	24.44	0.03	0.036	0.79	0.71	91
20	49.23	0.06	0.047	1.03	0.92	92		70	24.24	0.03	0.036	0.78	0.70	92
21	48.01	0.06	0.047	1.04	0.93	93		71	24.03	0.03	0.035	0.77	0.69	93
22	46.85	0.05	0.047	1.04	0.93	93		72	23.82	0.03	0.035	0.76	0.68	93
23	45.77	0.05	0.047	1.04	0.93	93		73	23.61	0.03	0.034	0.76	0.68	93
24	44.75	0.05	0.047	1.04	0.93	93		74	23.41	0.03	0.034	0.76	0.68	93
25	43.78	0.05	0.047	1.04	0.93	93		75	23.22	0.03	0.034	0.76	0.68	93
26	42.87	0.05	0.047	1.04	0.93	93		76	23.03	0.03	0.034	0.76	0.68	93
27	42.00	0.05	0.047	1.04	0.93	93		77	22.84	0.03	0.034	0.76	0.68	93
28	41.18	0.05	0.047	1.04	0.93	93		78	22.65	0.03	0.034	0.76	0.68	93
29	40.40	0.05	0.047	1.04	0.93	93		79	22.47	0.03	0.034	0.76	0.68	93
30	39.65	0.05	0.047	1.04	0.93	93		80	22.30	0.03	0.034	0.76	0.68	93
31	38.94	0.05	0.047	1.04	0.93	93		81	22.12	0.03	0.034	0.76	0.68	93
32	38.26	0.04	0.047	1.03	0.92	92		82	21.95	0.03	0.034	0.76	0.68	92
33	37.61	0.04	0.047	1.02	0.91	91		83	21.78	0.03	0.034	0.76	0.68	91
34	36.99	0.04	0.046	1.01	0.90	90		84	21.62	0.03	0.034	0.76	0.68	90
35	36.39	0.04	0.046	1.00	0.89	89		85	21.46	0.03	0.034	0.76	0.68	89
36	35.82	0.04	0.045	1.00	0.89	89		86	21.30	0.02	0.034	0.75	0.67	89
37	35.26	0.04	0.045	1.00	0.89	89		87	21.15	0.02	0.033	0.74	0.66	89
38	34.73	0.04	0.045	1.00	0.89	89		88	20.99	0.02	0.033	0.73	0.65	89
39	34.22	0.04	0.045	1.00	0.89	89		89	20.85	0.02	0.033	0.72	0.64	89
40	33.73	0.04	0.045	1.00	0.89	89		90	20.70	0.02	0.032	0.71	0.63	89
41	33.26	0.04	0.045	1.00	0.89	89		91	20.55	0.02	0.032	0.70	0.62	89
42	32.80	0.04	0.045	1.00	0.89	89		92	20.41	0.02	0.031	0.69	0.62	89
43	32.36	0.04	0.045	1.00	0.89	89		93	20.27	0.02	0.031	0.68	0.61	89
44	31.93	0.04	0.045	1.00	0.89	89		94	20.14	0.02	0.030	0.67	0.60	89
45	31.52	0.04	0.045	1.00	0.89	89		95	20.00	0.02	0.030	0.66	0.59	89
46	31.12	0.04	0.045	1.00	0.89	89		96	19.87	0.02	0.030	0.65	0.58	89
47	30.73	0.04	0.045	1.00	0.89	89		97	19.74	0.02	0.029	0.64	0.57	89
48	30.35	0.04	0.045	1.00	0.89	89		98	19.61	0.02	0.029	0.63	0.56	89
49	29.99	0.03	0.045	0.99	0.88	88		99	19.48	0.02	0.028	0.62	0.55	88
50	29.63	0.03	0.044	0.98	0.87	87		100	19.36	0.02	0.028	0.61	0.54	87



Company <b>Mabbett &amp; Associates</b>				Project <b>Station Road, Burghead</b>	
Item <b>Soakaway data - 100 hours</b>				Job Ref <b>313887</b>	Sheet no. <b>3</b>
MasterDrain	Calc. by <b>GM</b>	Date <b>01/09/23</b>	Checked by	Date	Approved by

Duration	Rain mm/hr	Inflow m³	Outflow m³	Storage m³	Depth m	%full		Duration	Rain mm/hr	Inflow m³	Outflow m³	Storage m³	Depth m	% full
1	26.6	1.86	3.624	-	0.00	0		51	2.0	0.14	0.361	-	0.00	0
2	17.2	1.21	3.167	-	0.00	0		52	2.0	0.14	0.361	-	0.00	0
3	13.3	0.93	2.434	-	0.00	0		53	1.9	0.14	0.361	-	0.00	0
4	11.0	0.77	2.009	-	0.00	0		54	1.9	0.13	0.340	-	0.00	0
5	9.5	0.66	1.722	-	0.00	0		55	1.9	0.13	0.340	-	0.00	0
6	8.4	0.59	1.541	-	0.00	0		56	1.9	0.13	0.340	-	0.00	0
7	7.6	0.53	1.382	-	0.00	0		57	1.8	0.13	0.340	-	0.00	0
8	6.9	0.48	1.254	-	0.00	0		58	1.8	0.13	0.340	-	0.00	0
9	6.4	0.45	1.180	-	0.00	0		59	1.8	0.13	0.340	-	0.00	0
10	6.0	0.42	1.095	-	0.00	0		60	1.8	0.12	0.319	-	0.00	0
11	5.6	0.39	1.020	-	0.00	0		61	1.8	0.12	0.319	-	0.00	0
12	5.3	0.37	0.967	-	0.00	0		62	1.7	0.12	0.319	-	0.00	0
13	5.0	0.35	0.914	-	0.00	0		63	1.7	0.12	0.319	-	0.00	0
14	4.8	0.33	0.861	-	0.00	0		64	1.7	0.12	0.319	-	0.00	0
15	4.5	0.32	0.840	-	0.00	0		65	1.7	0.12	0.319	-	0.00	0
16	4.3	0.30	0.786	-	0.00	0		66	1.7	0.12	0.319	-	0.00	0
17	4.2	0.29	0.755	-	0.00	0		67	1.7	0.12	0.319	-	0.00	0
18	4.0	0.28	0.733	-	0.00	0		68	1.6	0.11	0.287	-	0.00	0
19	3.9	0.27	0.701	-	0.00	0		69	1.6	0.11	0.287	-	0.00	0
20	3.7	0.26	0.680	-	0.00	0		70	1.6	0.11	0.287	-	0.00	0
21	3.6	0.25	0.648	-	0.00	0		71	1.6	0.11	0.287	-	0.00	0
22	3.5	0.25	0.648	-	0.00	0		72	1.6	0.11	0.287	-	0.00	0
23	3.4	0.24	0.627	-	0.00	0		73	1.6	0.11	0.287	-	0.00	0
24	3.3	0.23	0.606	-	0.00	0		74	1.5	0.11	0.287	-	0.00	0
25	3.2	0.23	0.606	-	0.00	0		75	1.5	0.11	0.287	-	0.00	0
26	3.1	0.22	0.574	-	0.00	0		76	1.5	0.11	0.287	-	0.00	0
27	3.1	0.21	0.553	-	0.00	0		77	1.5	0.11	0.287	-	0.00	0
28	3.0	0.21	0.553	-	0.00	0		78	1.5	0.10	0.266	-	0.00	0
29	2.9	0.20	0.521	-	0.00	0		79	1.5	0.10	0.266	-	0.00	0
30	2.8	0.20	0.521	-	0.00	0		80	1.5	0.10	0.266	-	0.00	0
31	2.8	0.19	0.499	-	0.00	0		81	1.5	0.10	0.266	-	0.00	0
32	2.7	0.19	0.499	-	0.00	0		82	1.4	0.10	0.266	-	0.00	0
33	2.7	0.19	0.499	-	0.00	0		83	1.4	0.10	0.266	-	0.00	0
34	2.6	0.18	0.468	-	0.00	0		84	1.4	0.10	0.266	-	0.00	0
35	2.6	0.18	0.468	-	0.00	0		85	1.4	0.10	0.266	-	0.00	0
36	2.5	0.18	0.468	-	0.00	0		86	1.4	0.10	0.266	-	0.00	0
37	2.5	0.17	0.446	-	0.00	0		87	1.4	0.10	0.266	-	0.00	0
38	2.4	0.17	0.446	-	0.00	0		88	1.4	0.10	0.266	-	0.00	0
39	2.4	0.17	0.446	-	0.00	0		89	1.4	0.10	0.266	-	0.00	0
40	2.3	0.16	0.414	-	0.00	0		90	1.4	0.09	0.234	-	0.00	0
41	2.3	0.16	0.414	-	0.00	0		91	1.3	0.09	0.234	-	0.00	0
42	2.3	0.16	0.414	-	0.00	0		92	1.3	0.09	0.234	-	0.00	0
43	2.2	0.16	0.414	-	0.00	0		93	1.3	0.09	0.234	-	0.00	0
44	2.2	0.15	0.393	-	0.00	0		94	1.3	0.09	0.234	-	0.00	0
45	2.2	0.15	0.393	-	0.00	0		95	1.3	0.09	0.234	-	0.00	0
46	2.1	0.15	0.393	-	0.00	0		96	1.3	0.09	0.234	-	0.00	0
47	2.1	0.15	0.393	-	0.00	0		97	1.3	0.09	0.234	-	0.00	0
48	2.1	0.14	0.361	-	0.00	0		98	1.3	0.09	0.234	-	0.00	0
49	2.0	0.14	0.361	-	0.00	0		99	1.3	0.09	0.234	-	0.00	0
50	2.0	0.14	0.361	-	0.00	0		100	1.3	0.09	0.234	-	0.00	0



Company <b>Mabbett &amp; Associates</b>				Project <b>Station Road, Burghead</b>	
Item <b>Hydrology data</b>				Job Ref <b>313887</b>	Sheet no. <b>4</b>
MasterDrain	Calc. by <b>GM</b>	Date <b>01/09/23</b>	Checked by	Date	Approved by
					Date

**Location hydrological data (FSR):-**

Location	= BURGHEAD	Grid reference	= NJ1169
M5-60 (mm)	= 12.3	r	= 0.26
Soil index	= 0.15	SAAR (mm/yr)	= 600
WRAP	= 1	Area	= Scotland and N. Ireland

Soil classification for WRAP type 1

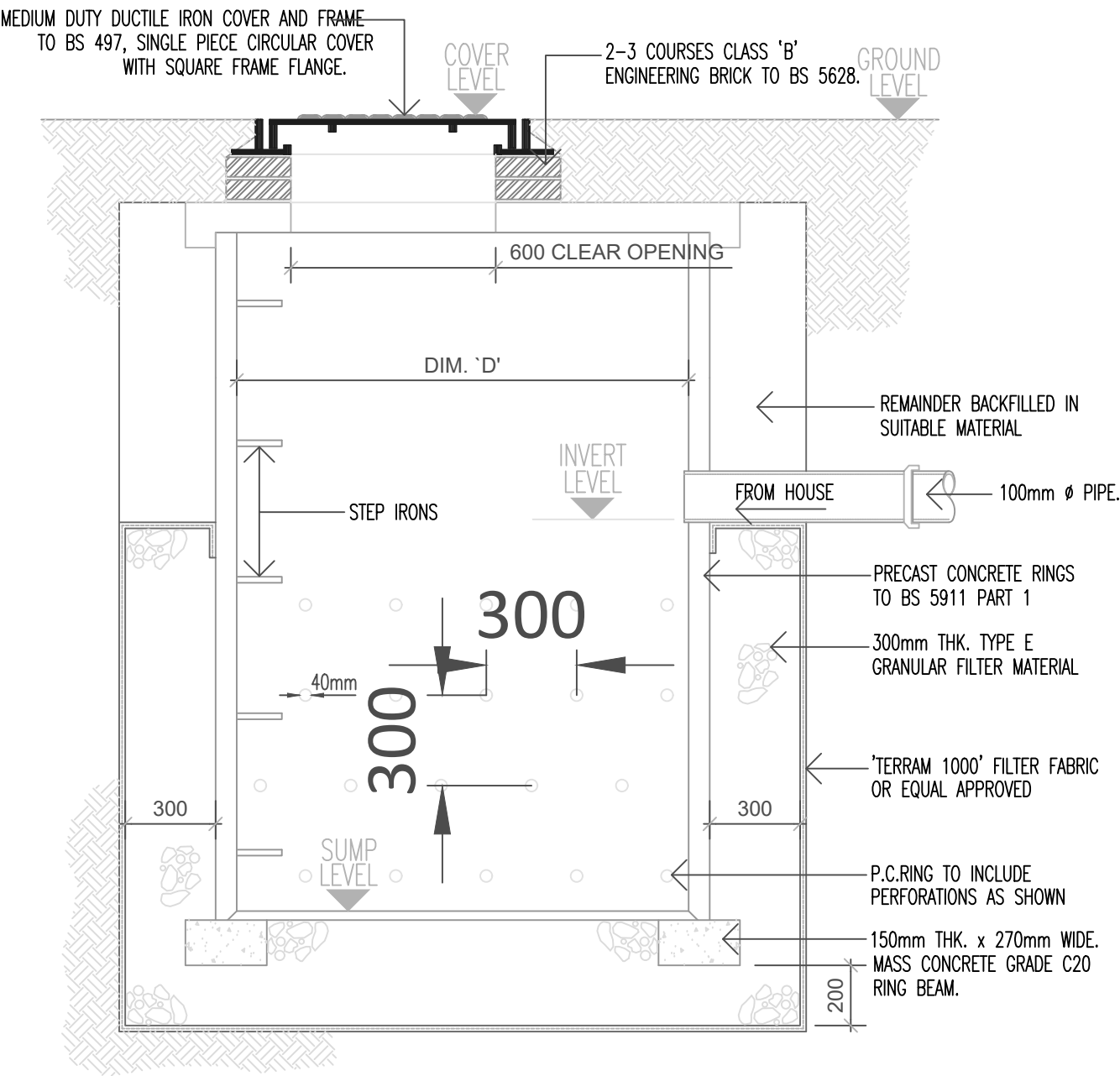
- i) Well drained permeable sandy or loam soils and shallower analogues over highly permeable limestone, chalk, sandstone or related drifts;
- ii) Earthy peat soils drained by dykes and pumps;
- iii) Less permeable loamy over clayey soils on plateaux adjacent to very permeable soils in valleys.

N.B. The rainfall rates are calculated using the location specific values above in accordance with the Wallingford procedure.

## **Appendix 3: Surface Water Soakaway Details**



PRECAST CONCRETE SOAKAWAY



SECTION THROUGH RAINWATER SOAKAWAY

Rev.	Description	Drawn	Date
------	-------------	-------	------

Mabbett®

Planning | Design | Environment | Engineering | Safety

Willow House  
Stoneyfield Business Park  
Inverness IV2 7PA  
Tel: 01463 237229  
www.mabbett.eu



Client  
Mr Stafford Turnidge

Project  
Proposed Dwelling  
Station Road  
Burghead

Drawing  
Surface Water Soakaway  
Construction Details

Status  
Issue

Scale	NTS	Sheet	A3
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Drawn	GM	Check	JF	Date	01/09/23
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Drawing No:	Rev
313887 PL02	X



**MORAY COUNCIL**  
**PLANNING CONSULTATION RESPONSE**

**From:** The Moray Council, Flood Risk Management

**Planning Application Ref. No:** 25/00134/APP

I have the following comments to make on the application:-

**Please**

**x**

- |     |   |                                     |
|-----|---|-------------------------------------|
| (a) | I OBJECT to the application for the reason(s) as stated below   | <input type="checkbox"/>            |
| (b) | I have NO OBJECTIONS to the application and have no condition(s) and/or comment(s) to make on the proposal            | <input checked="" type="checkbox"/> |
| (c) | I have NO OBJECTIONS to the application subject to condition(s) and/or comment(s) about the proposal as set out below | <input type="checkbox"/>            |
| (d) | Further information is required in order to consider the application as set out below                                 | <input type="checkbox"/>            |

Contact: Stef Brady Date 05/03/2025

email address: [Stefania.brady@moray.gov.uk](mailto:Stefania.brady@moray.gov.uk) Phone No

**Consultee:** The Moray Council, Flood Risk Management

# **Consultee Comments for Planning Application 25/00134/APP**

## **Application Summary**

Application Number: 25/00134/APP

Address: Site At Station Road Burghead Elgin Moray IV30 5UN

Proposal: Revise house design approved under planning consent ref: 23/01668/APP at

Case Officer: Fiona Olsen

## **Consultee Details**

Name: Andrew Stewart

Address: Environmental Health, Council Offices, High Street Elgin, Moray IV30 1BX

Email: Not Available

On Behalf Of: Environmental Health C12

## **Comments**

Approved unconditionally

# Consultation Request Notification

<b>Planning Authority Name</b>	Moray Council
<b>Response Date</b>	18th March 2025
<b>Planning Authority Reference</b>	25/00134/APP
<b>Nature of Proposal (Description)</b>	Revise house design approved under planning consent ref: 23/01668/APP at
<b>Site</b>	Site At Station Road Burghead Elgin Moray IV30 5UN
<b>Site Postcode</b>	N/A
<b>Site Gazetteer UPRN</b>	000133042382
<b>Proposal Location Easting</b>	311035
<b>Proposal Location Northing</b>	868984
<b>Area of application site (M<sup>2</sup>)</b>	236
<b>Additional Comment</b>	
<b>Development Hierarchy Level</b>	LOCAL
<b>Supporting Documentation URL</b>	<a href="https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&amp;keyVal=SR3I5IBGMTI00">https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&amp;keyVal=SR3I5IBGMTI00</a>
<b>Previous Application</b>	23/01668/APP
<b>Date of Consultation</b>	4th March 2025
<b>Is this a re-consultation of an existing application?</b>	No
<b>Applicant Name</b>	Mr Stafford Turnidge
<b>Applicant Organisation Name</b>	
<b>Applicant Address</b>	Per Grant And Geoghegan Grant Lodge Birnie ELGIN IV30 8SW
<b>Agent Name</b>	Grant And Geoghegan Limited
<b>Agent Organisation Name</b>	
<b>Agent Address</b>	Grant Lodge Birnie Elgin Moray IV30 8SW
<b>Agent Phone Number</b>	
<b>Agent Email Address</b>	N/A
<b>Case Officer</b>	Fiona Olsen
<b>Case Officer Phone number</b>	01343 563189
<b>Case Officer Mobile number</b>	07854 685848
<b>Case Officer email address</b>	fiona.olsen@moray.gov.uk

<b>PA Response To</b>	consultation.planning@moray.gov.uk
-----------------------	------------------------------------

**NOTE:**

If you do not respond by the response date, it will be assumed that you have no comment to make.

The statutory period allowed for a consultation response is 14 days. Due to scheduling pressures if a definitive response is not received within 21 days this may well cause the two month determination period to be exceeded.

Data Protection - Moray Council is the data controller for this process. Information collected about you on this form will be used to process your Planning Application, and the Council has a duty to process your information fairly. Information we hold must be accurate, up to date, is kept only for as long as is necessary and is otherwise shared only where we are legally obliged to do so. You have a legal right to obtain details of the information that we hold about you.

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You can contact our Data Protection Officer at [info@moray.gov.uk](mailto:info@moray.gov.uk) or 01343 562633 for more information.

Please respond using the attached form:-

**MORAY COUNCIL**

**PLANNING CONSULTATION RESPONSE**

**From:** Aberdeenshire Council Archaeology Service

**Planning Application Ref. No: 25/00134/APP**

**Revise house design approved under planning consent ref: 23/01668/APP at Site At Station Road Burghead Elgin Moray for Mr Stafford Turnidge**

I have the following comments to make on the application:-

- |   | <b>Please</b>                        |
|---|--------------------------------------|
| (a) I OBJECT to the application for the reason(s) as stated below   | <b>x</b><br><input type="checkbox"/> |
| (b) I have NO OBJECTIONS to the application and have no condition(s) and/or comment(s) to make on the proposal            | x                                    |
| (c) I have NO OBJECTIONS to the application subject to condition(s) and/or comment(s) about the proposal as set out below | <input type="checkbox"/>             |
| (d) Further information is required in order to consider the application as set out below                                 | <input type="checkbox"/>             |

**Reason(s) for objection**

None

**Condition(s)**

None

**Further comment(s) to be passed to applicant**

**Further information required to consider the application**

**Contact:** Claire Herbert  
**email address:**  
[archaeology@aberdeenshire.gov.uk](mailto:archaeology@aberdeenshire.gov.uk)  
**Consultee:** Archaeology service

**Date...**06/03/2025.....  
**Phone No** ...01467537717.

<b>Return response to</b>	<b>consultation.planning@moray.gov.uk</b>
---------------------------	---

Please note that information about the application including consultation responses and representations (whether in support or objection) received on the proposal will be published on the Council's website at <http://publicaccess.moray.gov.uk/eplanning/> (You can also use this site to track progress of the application and view details of any consultation responses and representations (whether in support or objection) received on the proposal). In order to comply with the Data Protection Act, personal information including signatures, personal telephone and email details will be removed prior to publication using "redaction" software to avoid (or mask) the display of such information. Where appropriate other "sensitive" information within documents will also be removed prior to publication online.



**From:** Tiia Lakkamaki <Tiia.Lakkamaki@moray.gov.uk>  
**Sent:** 10 Mar 2025 03:50:10  
**To:** DMSMyEmail@moray.gov.uk  
**Cc:**  
**Subject:** FW: Moray Council Planning Application Consultation for 25/00134/APP  
**Attachments:**

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**From:** Planning Consultations <PlanningConsultations@scottishwater.co.uk>  
**Sent:** 10 March 2025 15:24  
**To:** Planning Consultation <consultation.planning@moray.gov.uk>  
**Subject:** RE: Moray Council Planning Application Consultation for 25/00134/APP

**Warning. This email contains web links and originates from outside of the Moray Council network. You should only click on these links if you are certain that the email is genuine and the content is safe.**

Good afternoon,

Scottish Water has no objection to this planning application

I trust the above is acceptable however if you require any further information regarding this matter please contact me on 0800 389 0379 or via the e-mail address below or at [planningconsultations@scottishwater.co.uk](mailto:planningconsultations@scottishwater.co.uk).

Kind regards,

Angela Allison

Technical Analyst  
North Regional Team  
Strategic Development  
Development Services  
Teams: 0141 483 0706

My Working Hours:  
Monday, Tuesday, Thursday, Friday 8am – 4pm  
Wednesday 8am – 11am

*I would be grateful if you could spare 2 minutes to complete a survey on the service you have been provided regarding your query. You can do this by clicking on the link in the 'So, How are we doing' box below.*

Dedicated Freephone Helpline : 0800 389 0379  
Managed email Service: [DevelopmentOperations@scottishwater.co.uk](mailto:DevelopmentOperations@scottishwater.co.uk)  
Business Weblink: <https://www.scottishwater.co.uk/Business-and-Developers/NEW-Connecting-to-Our-Network>  
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----- Original Message -----

**From:** Local Planner <[consultation.planning@moray.gov.uk](mailto:consultation.planning@moray.gov.uk)>;  
**Received:** Tue Mar 04 2025 10:59:13 GMT+0000 (Greenwich Mean Time)  
**To:** <[planningconsultations@scottishwater.co.uk](mailto:planningconsultations@scottishwater.co.uk)>;  
**Subject:** Moray Council Planning Application Consultation for 25/00134/APP

[\*\*EXTERNAL MAIL\*\* - Think Before You Click]

Please find attached notification of consultation

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# Consultation Request Notification

<b>Planning Authority Name</b>	Moray Council
<b>Response Date</b>	18th March 2025
<b>Planning Authority Reference</b>	25/00134/APP
<b>Nature of Proposal (Description)</b>	Revise house design approved under planning consent ref: 23/01668/APP at
<b>Site</b>	Site At Station Road Burghead Elgin Moray IV30 5UN
<b>Site Postcode</b>	N/A
<b>Site Gazetteer UPRN</b>	000133042382
<b>Proposal Location Easting</b>	311035
<b>Proposal Location Northing</b>	868984
<b>Area of application site (M<sup>2</sup>)</b>	236
<b>Additional Comment</b>	
<b>Development Hierarchy Level</b>	LOCAL
<b>Supporting Documentation URL</b>	<a href="https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&amp;keyVal=SR3I5IBGMTI00">https://publicaccess.moray.gov.uk/eplanning/centralDistribution.do?caseType=Application&amp;keyVal=SR3I5IBGMTI00</a>
<b>Previous Application</b>	23/01668/APP
<b>Date of Consultation</b>	4th March 2025
<b>Is this a re-consultation of an existing application?</b>	No
<b>Applicant Name</b>	Mr Stafford Turnidge
<b>Applicant Organisation Name</b>	
<b>Applicant Address</b>	Per Grant And Geoghegan Grant Lodge Birnie ELGIN IV30 8SW
<b>Agent Name</b>	Grant And Geoghegan Limited
<b>Agent Organisation Name</b>	
<b>Agent Address</b>	Grant Lodge Birnie Elgin Moray IV30 8SW
<b>Agent Phone Number</b>	
<b>Agent Email Address</b>	N/A
<b>Case Officer</b>	Fiona Olsen
<b>Case Officer Phone number</b>	01343 563189
<b>Case Officer Mobile number</b>	07854 685848
<b>Case Officer email address</b>	fiona.olsen@moray.gov.uk
<b>PA Response To</b>	consultation.planning@moray.gov.uk

**NOTE:**

If you do not respond by the response date, it will be assumed that you have no comment to make.

The statutory period allowed for a consultation response is 14 days. Due to scheduling pressures if a definitive response is not received within 21 days this may well cause the two month determination period to be exceeded.

Data Protection - Moray Council is the data controller for this process. Information collected about you on this form will be used to process your Planning Application, and the Council has a duty to process your information fairly. Information we hold must be accurate, up to date, is kept only for as long as is necessary and is otherwise shared only where we are legally obliged to do so. You have a legal right to obtain details of the information that we hold about you.

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For full Data Protection policy, information and rights please see [http://www.moray.gov.uk/moray\\_standard/page\\_119859.html](http://www.moray.gov.uk/moray_standard/page_119859.html)

You can contact our Data Protection Officer at [info@moray.gov.uk](mailto:info@moray.gov.uk) or 01343 562633 for more information.

Please respond using the attached form:-

## MORAY COUNCIL

### PLANNING CONSULTATION RESPONSE

**From:** Transportation Manager

**Planning Application Ref. No: 25/00134/APP**

**Revise house design approved under planning consent ref: 23/01668/APP at Site At Station Road Burghead Elgin Moray for Mr Stafford Turnidge**

I have the following comments to make on the application:-

**Please**

- |   |                                     |
|---|-------------------------------------|
| (a) I OBJECT to the application for the reason(s) as stated below   | <input type="checkbox"/>            |
| (b) I have NO OBJECTIONS to the application and have no condition(s) and/or comment(s) to make on the proposal            | <input type="checkbox"/>            |
| (c) I have NO OBJECTIONS to the application subject to condition(s) and/or comment(s) about the proposal as set out below | <input checked="" type="checkbox"/> |
| (d) Further information is required in order to consider the application as set out below                                 | <input type="checkbox"/>            |

*This proposal is to revise the design of a small one bed residential unit to replace an existing shed, to be served via an existing access onto Station Road. Note – Although Station Road is private it is a Moray Council core path and therefore it is recommended that the Moray Council Core paths manager also be consulted on this proposal.*

#### **Condition(s)**

1. Prior to the first occupation of the new residential unit, a minimum of the first 2m of the access, measured from the edge of the carriageway shall be to the Moray Council specification and surfaced with bituminous macadam. The width of the vehicular access shall be minimum 3.5m and have a maximum gradient of 1:20 measured for the first 5.0m from the edge of the public carriageway.

**Reason:** To ensure acceptable infrastructure at the development access

2. One car parking space shall be provided within the site prior to the first occupation of the residential unit. The parking space shall thereafter be retained throughout the lifetime of the development, unless otherwise agreed in writing with the Council as Planning Authority

**Reason:** To ensure the permanent availability of the level of parking necessary for residents/visitors/others in the interests of an acceptable development and road safety.

3. No boundary fences, hedges, walls or any other obstruction whatsoever over 0.9m in height where fronting onto Station Road shall be within 2.4m of the edge of the carriageway.

**Reason:** To enable drivers of vehicles entering or exiting the site to have a clear view so that they can undertake the manoeuvre safely and with the minimum interference to the safety and free flow of traffic on the road.

4. No water shall be permitted to drain or loose material be carried onto the carriageway.

Reason: To ensure the safety and free flow of traffic on the public road and access to the site by minimising the road safety impact from extraneous material and surface water in the vicinity of the access

5. The opening path of any new access gate shall be fully contained within the site and not encroach onto the carriageway (Station Road)

Reason: To ensure acceptable development that does not create any hazard to road users in the interests of road safety.

**Further comment(s) to be passed to applicant**

Planning consent does not carry with it the right to carry out works within the public road boundary.

Note – Electric Vehicle (EV) charger infrastructure would require to be provided for the new property; however, for clarity the EV details shall be assessed separately as part of any associated building warrant submission.

Before starting any work on the existing road the applicant is obliged to apply for a road opening permit in accordance with Section 56 of the Roads (Scotland) Act 1984. This includes any temporary access joining with the public road. Advice on these matters can be obtained by emailing [roadspermits@moray.gov.uk](mailto:roadspermits@moray.gov.uk)

The applicant should note that Station Road adjacent is private and is not adopted by the Roads Authority. It is noted that the new boundary appears to encroach slightly further towards the carriageway than the existing boundary; however as this is private road this is considered to be a private matter between the applicant and those in ownership/ control of the road.

Public utility apparatus may be affected by this proposal. Contact the appropriate utility service in respect of any necessary utility service alterations which have to be carried out at the expense of the developer.

No building materials/scaffolding/builder's skip shall obstruct the public road (including footpaths) without permission from the Roads Authority.

The applicant shall free and relieve the Roads Authority from any claims arising out of their operations on the road or extension to the road.

**Contact: AG**  
**email address: [transport.develop@moray.gov.uk](mailto:transport.develop@moray.gov.uk)**  
**Consultee: TRANSPORTATION**

**Date 21 March 2025**

**Return response to**

**[consultation.planning@moray.gov.uk](mailto:consultation.planning@moray.gov.uk)**

Please note that information about the application including consultation responses and representations (whether in support or objection) received on the proposal will be published on the Council's website at <http://publicaccess.moray.gov.uk/eplanning/> (You can also use this site to track progress of the application and view details of any consultation responses and representations (whether in support or objection) received on the proposal). In order to comply with the Data Protection Act, personal information including signatures, personal telephone and email details will be removed prior to publication using "redaction" software to avoid (or mask) the display of such information. Where appropriate other "sensitive" information within documents will also be removed prior to publication online.

**From:** DeveloperObligations  
**Sent:** Wed, 5 Mar 2025 16:11:56 +0000  
**To:** Fiona Olsen  
**Cc:** DC-General Enquiries  
**Subject:** 25/00134/APP Revise house design approved under planning consent ref: 23/01668/APP at Site At Station Road, Burghead, Elgin, Moray, IV30 5UN

Hi Fiona,

No developer obligations will be sought for this application as it relates to extant consent 23/01668/APP.

Thanks,  
Erynn

**Erynn Crombie**

Infrastructure Growth/Obligations Officer (Strategic Planning and Development) | Economic Growth and Development

[news](#) | [website](#) | [Facebook](#) | [Instagram](#) | [YouTube](#)  
[erynn.crombie@moray.gov.uk](mailto:erynn.crombie@moray.gov.uk) |

Normal Working Hours – 08.45-17.00 (Mon/Wed in Office, Tues/Thurs/Fri Homeworking)







# Keith and Valerie Remnant



HARBOURSIDE

68, GRANARY STREET,  
BURGHHEAD,  
ELGIN, IV30 5UA  
TEL: 01343 830958

E.mail:

[ichthusbanjoman@gmail.com](mailto:ichthusbanjoman@gmail.com)

[valrem71@gmail.com](mailto:valrem71@gmail.com)

13 March 2025

The Development Management and Building Standards Manager  
Moray Council,  
PO Box 6760,  
Elgin,  
Moray, IV30 1BX

Dear Sirs,

Ref revised Planning Application ref: 23/01668/APP

I refer to your neighbour notification referenced above.

May I begin by referring you to the recent history of this site.

A planning application was submitted by the previous owner of the site ref 13/02062/APP.

We submitted a comprehensive objection to that application and to our relief the proposal was rejected.

The site was sold to the current owner who submitted another application for a single story house ref 23/01668/APP.

As we considered that nothing had changed over the previous 10 years, we submitted the same objections to that application, but we were disappointed to learn that the application had been approved. We wonder what had changed between 2013 and 2023! The new approval was for a black industrial style building with no architectural features, in our opinion, totally out of keeping with the existing traditional residential dwellings.

Please see below the text of my previous letter which to us is still relevant, even more so to the current revised proposal.

**RE: APPLICATION REF 23/01668/AP**

*May I refer you to a previous application to build a dwelling on this site, ref 13/02062/APP, which was refused. From our point of view, nothing has changed in the intervening 10 years and we wish to object strongly to the current proposal on the following grounds:*

### ***The proposal contravenes Policy H4***

*Proposals for the subdivision of housing plots ....., will be acceptable ..... if the site provided is at least 400 square metres excluding access.*

*This is not technically a subdivision as the site is not, but if you scrutinise the rest of the sites along Station Road, on the Location Plan, this is similar to building a new house in the front garden of any of the other plots. The previous application stated that the area is only 228sq.m, again unchanged.*

*Plot subdivision requires to be controlled so that the adverse impact of over development on the character of an area is reduced. It assists the protection of neighbours from over-development.*

*As this is an outline application there is no indication of the size of any proposed dwelling but the footprint of a medium size house is likely to be in the region of 100 sq.m which is about 45% of the total site area, which I believe is over development, leaving little amenity or vehicle parking space.*

*The house style must complement the character of the area as well as the scale and architecture of the parent property.*

*I realise there are precedents for building on smaller plots where the area already has a history of small plots as in parts of the original village, however, the area around the harbour and along Station Road is historically an industrial and commercial area related to the fishing industry and other harbour activities, so all the buildings and the existing new houses, are 2 or 3 stories high on large plots of land (as you will see on the location plan).*

*The only building along this row that is single storey is at the other end of the road, well away from the harbour, and is a former Salmon Bothy, (traditionally a single storey building) and ironically occupies the largest plot in the row!*

*I would also point out in connection with maintaining the existing character of the area, that all of the existing buildings on the sites along Station Road (with the exception of the Old Salmon Bothy), are not only 2 and 3 storeys, but they are all built to the north of the site against Granary Street, leaving the south of the sites facing the green and Burghead Bay clear for yard and garden areas.*

### ***The proposal contravenes Policy H3***

*New housing within settlement boundaries will be acceptable if:  
it does not adversely impact on the surrounding environment, .....*

*A single story or two story house on the application site would have a serious impact on the amenity space of our house, and would also be totally out of keeping with the scale and character of the surrounding area and especially our property, which is already the smallest of the plots along the road.*

*We notice that the applicant has not included any indicative plans of what he proposes to build, but I have 3D drawings and models showing the detrimental impact that the previous application would have had if it had been approved and built.*

*We have already commented that all the buildings in this row are built to the north of their respective sites immediately bounding Granary Street, which leaves the whole of the area to the south of the buildings with a clear open character, linking them visually and emotionally to the green and the sea, and it was this connection to the sea and the fishing trade which the village engaged in which the buildings were originally constructed to service.*

*We believe that permitting this development will set a precedent for the future development of smaller homes in the front gardens of the other properties along the road, out of character with the historical context of the area.*

*Even the site formerly home to B. L Cranes is currently being developed with a very large house on the north side of the site in keeping with siting of the existing buildings.*

*The area was seriously considered for designation as a Conservation Area, and whilst this did not happen, it demonstrates how important the council consider this area in terms of the historical importance of the whole of the harbour area to Burghead.*

*The last time I prepared an application for a site on a 30mph road, I was required to prove that sight lines of 2.0m back from the kerb and 60.0m in each direction was achievable.*

### **Access to the site**

*Please note that that:*

- 1. There is no pavement on the north side of Station Road, and the boundary walls and fences along Station Road are all on the edge of the road, therefore;*
- 2. The 2.0 back must be taken from the edge of the road, not a pavement, ie, the first restriction of the sight lines;*
- 3. The boundary wall to the exit from the adjacent property known as The Boatyard is 2.1m high and that a sight line of only 7.0m is achievable;*
- 4. Also in that direction there is an outward protruding return forming the remains of another derelict boundary building which narrows the road, ie restricting the sights further;*
- 5. The road in that direction curves away further restricting the view of approaching traffic;*
- 6. In the other direction, my own fence also extends to the edge of the road and is 1.8m high further restricting the sight line in that direction to 12.0m;*

7. *There is also the junction with Church Road to cope with, and, having lived in Harbourside for 21 years, we know only too well the hazards of exiting our own drive, having to be aware of vehicles approaching from the east with our own view restricted by the existing shed currently situated on the application site, whilst also watching out for vehicles swinging round the corner from Church Street into Station Road from the north, vehicles which will not be visible from the application site.*
8. *Adding to the hazards along Station Road is the fact that many people, including children and young people insist on walking along the road rather than on the pavement or green, Even more so in the holiday season when Burghead plays host to many visitors.*

*We trust that your consultation with the Council Roads dept and the Transportation Manager will therefore take account of these dangers and the inability to comply with your normal requirements in this respect.*

*The Council has long resisted any attempt to develop the current application site. Soon after we moved here, in 2001, we were speaking to Mr. Patterson of the Burghead Boatyard, who are now located in Findhorn, but who many years ago occupied our site, the application site and the adjacent site. At the time, they applied for permission to construct a boat showroom on the site, which the council refused, and have resisted any development attempts since then, restricting it's use to a small boatyard.*

*As a professional architect, and if our property and the application site were one, and a client came to me and asked my advice as to whether it would be viable to split the site and construct a new house in this position, my unequivocal advice would be "No way".*

*We trust you will agree with our assessment of the detrimental affect this proposal will have on both our home and the area and will uphold our objection to it. You are welcome to visit if you wish to see the site for yourself.*

*Yours faithfully,*

*Mr and Mrs Keith and Valerie Remnant*

Having received the current revised application we were appalled that the applicant is now proposing a TWO STORY version of the same industrial design, which will have an even bigger impact on the area and our amenity space!

We had reluctantly accepted that the single story proposal was an attempt at replacing like for like in terms of the existing shed, but this proposal is out of all proportion to the immediate buildings, especially as none of them at this end of Station Road are on the Station road boundary.

I invite the case officer, who I believe is Fiona Olsen, to visit our house to view the application from our side of the fence, and look forward to discussing this matter with her.

Yours faithfully

Mr and Mrs K. R. Remnant



## **REPORT OF HANDLING**

<b>Ref No:</b>	25/00134/APP	<b>Officer:</b>	Fiona Olsen
<b>Proposal Description/ Address</b>	Revise house design approved under planning consent ref: 23/01668/APP at Site At Station Road Burghead Elgin Moray		
<b>Date:</b>	03.10.2025	<b>Typist Initials:</b>	LMC

### **RECOMMENDATION**

<b>Approve, without or with condition(s) listed below</b>		<b>N</b>
<b>Refuse, subject to reason(s) listed below</b>		<b>Y</b>
<b>Legal Agreement required e.g. S,75</b>		<b>N</b>
<b>Notification to Scottish Ministers/Historic Scotland</b>		<b>N</b>
<b>Hearing requirements</b>	<b>Departure</b>	<b>N</b>
	<b>Pre-determination</b>	<b>N</b>

### **CONSULTATIONS**

<b>Consultee</b>	<b>Date Returned</b>	<b>Summary of Response</b>
Planning And Development Obligations	05/03/25	None Sought
Environmental Health Manager	05/03/25	No Objections
Contaminated Land	05/03/25	No Objections subject to a condition
Transportation Manager	21/03/25	No Objections subject to conditions and informatives
Scottish Water	10/03/25	No Objections
Aberdeenshire Council Archaeology Service	06/03/25	No Objections
Moray Flood Risk Management	05/03/25	No Objections

### **DEVELOPMENT PLAN POLICY**

<b>Policies</b>	<b>Dep</b>	<b>Any Comments (or refer to Observations below)</b>
NPF1 - Tackling the Climate	N	
NPF2 - Climate mitigation and adaptation	N	
NPF3 - Biodiversity	N	
NPF4 - Natural Places	Y	See below
NPF5 - Soils	N	
NPF7 - Historic assets and places	Y	See below
NPF9 - Brownfield, vacant, derelict land	N	
NPF12 - Zero waste	N	
NPF13 - Sustainable transport	N	
NPF14 - Design, quality and place	Y	See below

NPF15 - Local living	N	
NPF22 - Flood risk	N	
NPF23 - Health and safety	N	
PP1 Placemaking	N	
PP2 Sustainable Economic Growth	N	
PP3 Infrastructure and Services	N	
DP1 Development Principles	Y	See below
EP1 Natural Heritage Designation	N	
EP2 Biodiversity	N	
EP7 Forestry Woodland and Trees	N	
EP10 Listed Buildings	Y	See below
EP12 Management and Enhancement Water	N	
EP13 Foul Drainage	N	
EP14 Pollution Contamination Hazards	N	

REPRESENTATIONS		
Representations Received	YES	
Total number of representations received: ONE		
Names/Addresses of parties submitting representations		
Name and address details of parties submitting representations withheld in accordance with the General Data Protection Regulations.		
Summary and Assessment of main issues raised by representations		
<p><b>Issue:</b> Unacceptable subdivision as the site is under 500m2.</p> <p><b>Comments (PO):</b> The application is not assessed under MLDP 2020 Policy DP1 (f) which refers to subdivision of existing properties as it does not form part of the garden ground of the houses to the north and has been historically separated in this manner. The site is therefore assessed as an existing brownfield site within the settlement.</p>		
<p><b>Issue:</b> Unacceptable amenity impact on neighbouring properties.</p> <p><b>Comments (PO):</b> The rear elevation of the dwelling faces north-east onto the rear gardens of the neighbouring properties. It is noted that only a single ground floor opening is proposed on the rear elevation and that given the level difference between the plots and proposed 1.8m boundary fence, the proposals would not be considered to give rise to any unacceptable loss of privacy or overlooking to any neighbouring property.</p> <p>Given the separation distance and level difference between the site and neighbouring properties, the development is unlikely to give rise to any unacceptable loss of light or overshadowing.</p> <p>It is noted however that the height of the dwelling, in comparison to the existing building, to be replaced, is considered to have an unacceptable physical impact on the neighbouring properties to the rear and has the potential to give rise to an overbearing loss of amenity to the neighbour immediately to the rear.</p>		



**Issue:** Out of keeping with character of open aspect to south of plots on Granary Street.

**Comments (PO):** It is noted that there is an established character of open aspect rear plots in this area and that the existing store building has an established traditional character and scale in this setting. To replace this building with a larger, taller building would have an unacceptable negative impact the character of the surrounding area, including the Special Landscape Area and the existing subservient relationship with the neighbouring property.

**Issue:** Road safety concerns including issues regarding pavement, boundary walls, visibility splays and increase in traffic.

**Comments (PO):** Moray Council Transportation Section have been consulted and no objections have been raised subject to conditions requiring surfacing of the access onto the public road, provision of one parking spaces, a condition to ensure no boundaries are over 0.9m within 2.4m of the carriageway, a condition to ensure no water or loose material is carried onto the public road and finally a condition to ensure that any new access gate is contained fully within the site.

## OBSERVATIONS – ASSESSMENT OF PROPOSAL

Section 25 of the 1997 Act as amended requires applications to be determined in accordance with the Development Plan i.e. the adopted National Planning Framework 4 (NPF4) and Moray Local Development Plan 2020 (MLDP) unless material considerations indicate otherwise.

The main planning issues are considered below:

### Proposal

The application seeks planning permission for the demolition of an existing store and the erection of a one-and-a-half storey house of approx. 5.9m in height.

The dwelling is proposed to be finished in black metal cladding and the walls in black timber cladding.

A 1.8m fence and hedge proposed are proposed on the northern, eastern and western boundaries of the site, and a 0.9m fence on the southern boundary onto Station Road. Mixed hawthorn and blackthorn hedging are also proposed within the garden ground.

### Site & Site History

The site sits on the end of a block of development on Station Road, Burghead. It is currently occupied by a store building. It was previously part of a boatyard site and was associated with the buildings immediately to the north which have been converted to houses. The application site is a discrete plot of land and does not form part of the garden ground of the houses to the north. The road runs to the south and west of the site. There is garden ground immediately to the north and east of the site. The harbour is to the southwest of the site. The building immediately to the northeast is a listed building. The Burghead Harbour Conservation area is immediately to the west and south of the site but does not include the application site. The site is within the Culbin to Burghead Coast Special Landscape Area.

The neighbouring dwelling to the north, Burghead harbour and the historic settlement of Burghead are identified on the Historic Environment Record (HER) as sites of archaeological interest.

An application was approved in January 2024 to demolish the existing store building and replace with dwelling (23/01668/APP refers) and that application remains live but yet not commenced. The final dwellinghouse design approved under the earlier application was for a small-scale single storey dwelling of no more than 4.1m in height and therefore no higher than the existing store building it

sought to replace. It is noted that the design originally proposed as part of that earlier application was for a one-and-three-quarter storey dwelling with a larger footprint and ridge height of approx. 7.4m. Amended plans were sought and the principle of a house on the site were accepted, albeit with a scale of little more than the existing building.

### **Principle of Development (NPF4 Policy 9)**

NPF4 policy 9 seeks to reduce the need for greenfield development and supports development that will result in the sustainable reuse of brownfield land including buildings.

As noted, there is a live consent on the site for a new dwelling which would replace the existing historical store and therefore the principle of a dwelling is established. The application seeks to alter scale and design of the previously approved dwelling and this is discussed further below.

### **Design and Impact on Special Landscape Area and Listed Building (NPF4 Policies 7, 14, MLDP 2020 Policies DP1, EP9 and EP10)**

NPF4 Policy 14 and DP1 together set out the need for the scale, density and character to be appropriate to the surrounding area to create a sense of place, integrated into the surrounding landscape with no adverse impact upon neighbouring properties in terms of privacy, daylighting, or overbearing loss of amenity.

NPF4 policy 14 requires development in local landscape designations to not have a significant adverse impact effect on the integrity or qualities of that area while Policy EP3 requires development within urban SLAs to reflect the traditional settlement character in terms of siting and design

Policy EP10 and NPF4 Policy 7 require that development proposals be refused where they would have a detrimental effect on the character, integrity or setting of a listed building.

As outlined, the principle of a new dwellinghouse on this site has been established by the earlier consent. The application seeks to alter the previously approved design by increasing the height to approx. 5.9m (an increase of 1.8m from the previously approved height of 4.1m). The footprint area of the house and previously approved external materials remain unaltered. The extended height would provide a one-and-a-half storey dwelling with a bedroom, wardrobe and ensuite on the first floor.

It is noted that the designs originally proposed under the previous consent (23/01668/APP refers) sought a one-and-a-half storey dwelling of the same footprint but with a ridge height of approx. 7.4m. This was altered during the course of that application to a single storey dwelling with a ridge height no higher than the existing outbuilding it sought to replace.

The surrounding area is characterised by traditional and historical buildings previously part of a boatyard site which have been historically converted to dwellings. There is a traditional settlement pattern which includes an open aspect to the rear gardens of the plots to the north and west. The existing outbuilding is also read as a subservient building to the neighbouring properties to the north. The proposal to place a building on this site, which exceeds the height of the existing outbuilding would therefore be considered out of keeping with the traditional settlement character of the surrounding area, in particular the historical boatyard and harbour area to the east and the Burghead to Culbin Special Landscape Area. The proposed increased height dwelling would also be considered to impact on the setting of the B listed building to the north-west of the site due it's unacceptable scale and bulky design which is considered unacceptable for this location.

Therefore, there remains an objection to an increased ridge height and subsequent one-and-a-half storey design dwellinghouse and therefore the proposals to increase the height of the previously approved dwelling by 1.8m to 5.9m are deemed unacceptable and would fail to comply NPF4 Policies 4, 7, 14 and MLDP 2020 Policies DP1, EP3 and EP10.

It is noted that the agent has informally provided draft sketches of further revised proposals. These included an option to slightly decrease the height (to approx. 5.7m to the roof ridge) and a further option to reduce the height to approx. 4.1m (to match the existing consent and outbuilding) but to add an extension to the ground floor footprint of the building to the north to provide a bedroom. Both of these options were considered by the case officer informally but have not been taken forward as part of this proposal due to the continued concern with regard to the impact on the character of the surrounding area.

In summary, the proposals to increase the height of the previously approved dwellinghouse (with a height of 5.9m and provision of a first floor) would be considered out of keeping with the traditional settlement character of the surrounding area, in particular the historical boatyard and harbour area to the east and the Burghead to Culbin Special Landscape Area. The proposed increased height dwelling would also be considered to impact on the setting of the B listed building to the north-west of the site due to its unacceptable scale and bulky design which is considered unacceptable for this location. As such the application is considered to fail to comply with NPF4 Policies 4, 7, 14 and MLDP 2020 Policies DP1, EP3 and EP10.

#### **Impact on Amenity (NPF4 Policy 14, DP1)**

The proposed dwelling is to be located to the south and south-west of existing dwellinghouses. The proposed increased ridge height to approx. 5.9m, if allowed, would be expected to give rise to an unacceptable physical impact and an overbearing loss of amenity to the neighbour immediately to the north. As such, the proposals are considered to fail to comply with NPF4 Policy 14 and DP1 in terms of an unacceptable amenity impact.

Given the separation distance and level difference between the dwelling and neighbouring property to the north, the increased height would not be considered to give rise to an unacceptable loss of light when the 25-degree approach is used.

In terms of any loss of privacy or overlooking, upper floor openings are only proposed on the south-west elevation which do not face onto any neighbouring properties. Any ground floor openings are limited on the north-west and north-east elevations and would be screened by proposed fencing and hedging.

These considerations however would not override the aforementioned objections with regard to the unacceptable scale and design of the building which would give rise to an unacceptable physical impact to the neighbouring property to the north and impact on the character and setting of the surrounding historical area and listed building and as such the application will be refused.

#### **Drainage (NPF4 Policy 22, DP1, EP12 and EP13)**

The site is not within any areas identified to be at risk of flooding. A Drainage Statement has been provided which outlines that any additional surface water will be directed to a new soakaway within the site. Moray Flood Risk Management have been consulted and have raised no objections therefore the drainage proposals would comply with policy DP1. Should the application be approved the installation of the surface water drainage would be a matter to be controlled by condition on any final consent.

The development is proposed to be connected to the existing foul sewer and public water supply. Scottish Water have been consulted and no objections have been raised.

#### **Climate Change, Biodiversity and Soils (NPF4 Policies 1, 2, 3 and 5, EP2)**

The proposal seeks to make design alterations to a previously approved development for a single house. The proposals will result in minimal impact in terms of climate change and soil disturbance. Native hedging is proposed to be planted within the site to aid to screen the development and this is considered suitable biodiversity enhancement for a proposal of this nature and scale. Therefore the proposal is deemed to comply with NPF4 Policies 1, 2, 3 and 5 and EP2.

### **Protected Species (NPF4 Policy 4, EP1)**

As bats are a European Protected Species, the impact of the proposal on the species must be considered prior to determining the application and in line with the current Habitat Regulations 1994 as amended.

The existing outbuilding to be dismantled is small scale and a bat survey was not previously sought as part of the earlier application approved in 2024. Should the application be approved, an informative would be added to any final consent to remind the developer of their duties should any evidence of bats be uncovered during construction works and this would ensure compliance with NPF4 Policy 4 and EP1.

### **Parking and Access (NPF4 Policy 18, DP1)**

The site is to be accessed via an existing access onto the adopted road to the south of the site. Parking for a single vehicle is shown on the plans. The Council's Transportation Section have been consulted and have provided no objections, subject to compliance with conditions requiring surfacing of the access, provision of a car parking space and conditions to ensure no boundary enclosures exceed 0.9m within 2.4m of the carriageway, no loose material is carried onto the carriageway and finally that the opening path of any new access gate is fully contained within the site and does not encroach onto the carriageway.

As outlined the application will be subsequently refused however should any application be approved, these matters would require to be controlled by condition.

A Core Path runs along the south of the site. The Moray Access Manager was consulted as part of the previous application (23/01668/APP refers) and no objections were raised. It is not considered that the design alterations would impact on the core path as the site boundaries are unaltered from the previous consent which remains live. The Moray Access Manager again has no objections.

### **Developer Obligations and Affordable Housing (PP3. NPF4 Policy 16)**

Developer Obligations and Affordable Housing Contributions were sought and paid as part of the earlier application which remains live. Whilst the application will be refused, should the application have been recommended for approval, no further contributions would be sought.

### **Conclusion**

The proposals to increase the height of the previously approved dwellinghouse (to a height of approx. 5.9m, with the provision of a first floor) would be considered out of keeping with the traditional settlement character of the surrounding area, in particular the historical boatyard and harbour area to the east and the Burghead to Culbin Special Landscape Area. The proposed increased height dwelling would also be considered to impact on the setting of the B listed building to the north-west of the site due to its unacceptable scale and bulky design which is considered unacceptable for this location. As such the application is considered to fail to comply with NPF4 Policies 4, 7, 14 and MLDP 2020 Policies DP1, EP3 and EP10.

Furthermore, the proposed dwelling is to be located to the south of an existing dwellinghouse and the proposed increased ridge height to approx. 5.9m would be considered to give rise to an unacceptable physical impact and an overbearing loss of amenity to that neighbour. As such the proposals are considered to fail to comply with NPF4 Policy 14 and DP1 in terms of an unacceptable amenity impact.

### **OTHER MATERIAL CONSIDERATIONS TAKEN INTO ACCOUNT**

None

### **HISTORY**

Reference No.	Description			
23/01668/APP	Demolish shed and erect dwellinghouse (as amended) on Site At Station Road Burghead Moray			
	Decision	Permitted	Date Of Decision	14/02/24

ADVERT			
Advert Fee paid?	N/A		
Local Newspaper	Reason for Advert	Date of expiry	

DEVELOPER CONTRIBUTIONS (PGU)	
Status	None sought

DOCUMENTS, ASSESSMENTS etc. *		
* Includes Environmental Statement, Appropriate Assessment, Design Statement, Design and Access Statement, RIA, TA, NIA, FRA etc		
Supporting information submitted with application?		NO
Summary of main issues raised in each statement/assessment/report		
Document Name:		
Main Issues:		

S.75 AGREEMENT		
Application subject to S.75 Agreement		NO
Summary of terms of agreement:		
Location where terms or summary of terms can be inspected:		

DIRECTION(S) MADE BY SCOTTISH MINISTERS (under DMR2008 Regs)			
Section 30	Relating to EIA		NO
Section 31	Requiring planning authority to provide information and restrict grant of planning permission		NO
Section 32	Requiring planning authority to consider the imposition of planning conditions		NO
Summary of Direction(s)			





**MORAY COUNCIL  
TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997,  
as amended**

**REFUSAL OF PLANNING PERMISSION**

**[Heldon And Laich]  
Application for Planning Permission**

TO

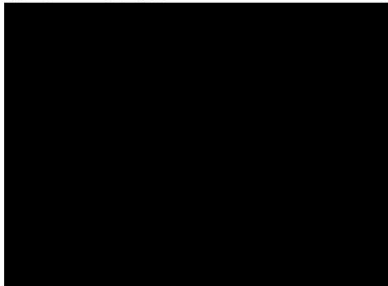


With reference to your application for planning permission under the above mentioned Act, the Council in exercise of their powers under the said Act, have decided to **REFUSE** your application for the following development:-

**Revise house design approved under planning consent ref: 23/01668/APP at  
Site At Station Road Burghead Elgin Moray**

and for the reason(s) set out in the attached schedule.

Date of Notice: **7 October 2025**



**HEAD OF ECONOMIC GROWTH AND DEVELOPMENT**

Economy, Environment and Finance  
Moray Council  
Council Office  
High Street  
ELGIN  
Moray  
IV30 1BX

**IMPORTANT**  
**YOUR ATTENTION IS DRAWN TO THE REASONS and NOTES BELOW**

**SCHEDULE OF REASON(S) FOR REFUSAL**

By this Notice, Moray Council has REFUSED this proposal. The Council's reason(s) for this decision are as follows: -

The proposals are contrary to National Planning Framework 4 (NPF4) and Moray Local Development Plan (MLDP 2020) for the following reasons:

1. The proposals to increase the height of the previously approved dwellinghouse (to a height of 5.9, with the provision of a first floor) would be considered out of keeping with the traditional settlement character of the surrounding area, in particular the historical boatyard and harbour area to the east and the Burghead to Culbin Special Landscape Area. The proposed increased height dwelling would also be considered to impact on the setting of the B listed building to the north-west of the site due it's unacceptable scale and bulky design which is considered unacceptable for this location. As such the application is considered to fail to comply with NPF4 Policies 4, 7, 14 and MLDP 2020 Policies DP1, EP3 and EP10.
2. The proposed dwelling is to be located to the south of an existing dwellinghouse and the proposed increased ridge height to approx. 5.9m would be considered to give rise to an unacceptable physical impact and an overbearing loss of amenity to that neighbour. As such the proposals are considered to fail to comply with NPF4 Policy 14 and DP1 in terms of an unacceptable amenity impact.

**LIST OF PLANS AND DRAWINGS SHOWING THE DEVELOPMENT**

The following plans and drawings form part of the decision:-

Reference	Version	Title
		Location Plan
		Proposed Site Plan
		Proposed Elevations Sections Floor Plans

**NOTICE OF APPEAL**

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997**

If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning



(Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to The Clerk, Moray Council Local Review Body, Legal and Committee Services, Council Offices, High Street, Elgin IV30 1BX. This form is also available and can be submitted online or downloaded from [www.eplanning.scotland.gov.uk](http://www.eplanning.scotland.gov.uk)

If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

