

28th August 2013

Ref. b9-1304-301-sja02 - planning appeal.docx



The Local Review Body, Planning Appeals  
The Moray Council  
High Street, Elgin  
IV30 1BX

For the attention of: The Local Review Body



Dear Sir / Madam

**Re: Clanchattan, 7 Paradise Lane, Lossiemouth - Planning Appeal  
With Reference to Moray Council Planning Reference - 13/01155/APP - CONDITION 1**

This document outlines an appeal of the above planning application which was granted conditional approval on 13th September 2013. The only item which we would like to appeal is Condition 1 which concerns the materials to the new build portion of the extension's pitched roof and external wall materials.

Whilst we think the Pigmento Blue Zinc which was included within the original submission would be a stunning addition to the diverse palette of materials in the close vicinity to the site, we are prepared to accept that it is the planning department's opinion that Zinc is not going to be appropriate in this location where only traditional materials are apparent. However as will be illustrated within this document, the requirement for the roof and the outside of the external walls to be in the same material is paramount to the design concept, which drove this expressed planar pitched roof / wall form, and we believe is essential in holding the design intention of the proposals together.

Furthermore, Condition 1 insists upon "*white render (to side walls of East and West elevation) to match the external finishes of the existing property*" however there is no white render anywhere else on the existing property.

We would therefore like to take this opportunity to present a revised proposal, suggesting that the new pitched roof and wall finish both be in slate as a compromise to this condition and our original design. We believe that this will maintain the strong original design concept. This alternative was suggested verbally during the planning process, however we were not given the chance to present this drawn

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option to the case officer prior to determination. The attached revised elevation drawings (ref.b9-1304-111A - Proposed Elevations) illustrates the revised proposal.

Firstly, I would like to take the opportunity to advise why the existing design evolved in the nature it did. This will illustrate the level of thought and consideration behind the design process, and the proposed choice of materials.

### EXISTING BUILDING & SITE



Image 1. Clanchattan, 7 Paradise Lane, Viewed from the South East on James Street, looking North West to the site

As a native of Lossiemouth, the client, Mrs Morag Anderson was very keen to return home to the town from Elgin where she had lived for the last 45 years. For several years, she had been looking for a property to purchase in Lossiemouth when she was advised that 7 Paradise Lane would be coming on the market. Upon her viewing of Clanchattan, I had been asked to visit the property to advise if I thought the original part of the house would have the potential to be returned to a safe and habitable home as it stood, and also if it would be feasible to modify the existing unsightly flat roof 70s extension to form a more contemporary 'Granny flat' in the long term.

The initial intention was to remove the damaged flat roof (see Image 2) which we felt was most divergent to all other houses in the surrounding area, in favour of a new pitched roof structure which would juxtapose well to the existing pitched form of the original 19th century structure of the fisherman's cottage.

As Mrs Anderson's son and daughter in law intend to move there within the next 5 years, it was intended that a holiday let use class would be sought in the shorter term to accommodate Lossiemouth's high demand for tourist accommodation. The local hospitality industry is a service Mrs Anderson is very familiar with, having grown up and worked in her family's hotel, the old Laverock Bank Hotel on nearby St Gerardines Road. This was originally opened by her grandmother shortly after World War 2, and later run by her father, John Maclennan until the late 1970s.





Image 2. The damaged and unsightly flat roof extension wrapping around the South and East of the property

On behalf of Mrs Anderson, I approached Moray Planning, and was advised positively by Emma Mitchell during a Pre Application that the scale, form and massing of the proposed pitched roof structure would be viewed favourably and advised of the relevant planning policies which were studied and deemed to comply with. We were also advised that the holiday let use class would be encouraged.

Once we were advised of this, Mrs Anderson agreed the purchase of 7 Paradise Lane, and we quickly went to work up the full planning application. It was stressed that time was of great priority due to the fact she was now renting accommodation until the statutory approvals were in place so work could be progressed and she could move in as soon as was possible.

### **LOCAL CONTEXT & MATERIALS**

The immediate architectural context on James Street and Paradise Lane is diverse to say the least. Whilst primarily all 1, 1½ and 2 storey residential buildings, materials differ from walls clad with various finishes of stone, white render, harling of differing colours, pan-tiles, stained timber and corrugated metal.

Roof finishes include slate, pan-tiles, concrete tiles of various colours, and again, corrugated metal in different locations.





Image 3. Diversity of materials along James Street

### ORIGINAL DESIGN CONCEPT

An early decision was made that we would propose that the flat roof be replaced with a new pitched roof. This was both for functional reasons due to its poor condition (the roof is leaking in several locations) and as an effort to reintegrate the extension with its context. The form of this roof was the basis of several early design iterations. Hipping the roof over the existing kitchen to tie it in with the original cottage was discounted as considered it would have given too dominant a visual impact on James Street (see Image 5).

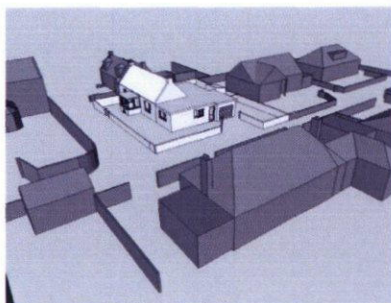


Image 4. Existing massing model

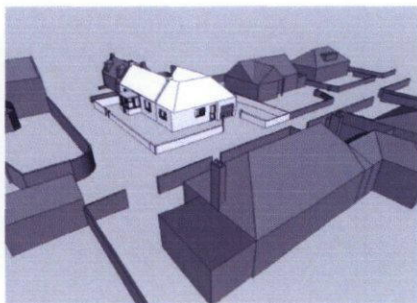


Image 5. Hipped massing option

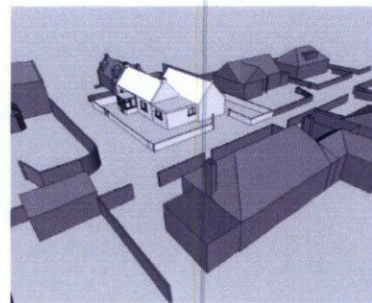


Image 6. Preferred pitched massing model

The orientation of the original fisherman's cottage was reminiscent of a lecture by the late architect Professor James Paul, who had grown up in nearby Portsoy before becoming a renowned Scottish architect, building many successful and award winning houses and housing developments in fishing villages and coastal locations across Scotland.

In his lecture, Professor Paul showed various slides of historic fishing villages in the Moray Firth and how interesting it was that most people who live by the coast today, wanted their homes to face on to the sea and enjoy the view. However traditional fishing cottages turned their buildings away from the



coastal aspect so a gable would face the view. Turning the gable towards the coast offered protection from the harsh conditions blowing in from the coast, and besides, most inhabitants in these historic homes were fisherman and did not particularly want to be reminded of the sea from their homes.

Slides of villages such as Portsoy, Findochty, Portessie, Cullen and Lossiemouth Seatown were shown to illustrate the point (see image 7-10) and it was this that which lead to the reinforcement of the existing cottages roofline axis, by creating a similar form, in exactly the same orientation, with the purity of one long pitched structure without hips or valleys, just echoing the old tradition of a gabled form facing the sea (see Image 6).



Image 7. Traditional fisherman's cottages in Cullen, turned so gable faces harsh conditions from coast



Image 8. Cottages on side of Moray Firth in Gardenstown with gables primarily facing the coast

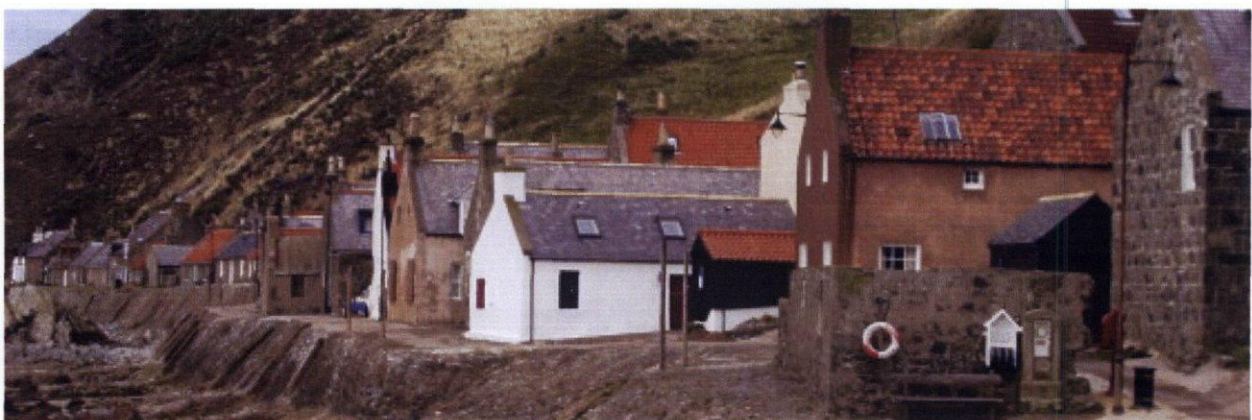


Image 9. Cottages on side of Moray Firth with gables turned to face the sea





Image 10. Traditional fisherman's cottages in Seatown of Lossiemouth with facing the East Beach

Despite the site being set back from the coast frontage by one street, and there not being the context of the neighbouring buildings orientating themselves in this historic manner, it was deemed that this design approach was more honest and authentic to the history of the area, and the traditional nature of Moray fishing villages. Something the surrounding newer houses had never considered and lost connection with in recent years.

To offer further protection from the elements, and to accentuate this orientation towards the coast, it was decided that the wall and roof would protrude further past the gable ends to offer some much needed shelter when entering the main door to the extension, and when sitting out in the rear garden. It was deemed that only if the roof and walls were of the same material, this extrusion and the overall orientation concept would be strengthened, more apparent and further enhanced (see image 11 & 12).



Image 11. Precedent study of form - extruded walls & roofline over gables (materials not relevant)

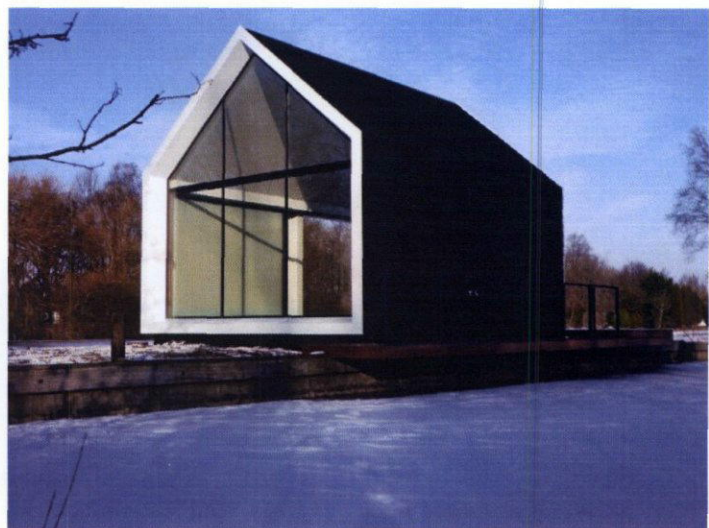


Image 12. Precedent study of form - extruded walls & roofline over gables (materials not relevant)



## CHOICE OF MATERIALS

Once the decision was made that to accentuate the protruding roof and walls, it was always the intention that they were to be in the same materials. It was initially considered that both the roof and walls would be finished in slate to tie in with the existing cottage, and some of the older neighbouring houses. This blurring of the relationship between low roofline and walls in slate was apparent on older residential properties in the Seatown (see image 13), and in the mansard of a property on Commerce Street (see image 14).

Another newly built property which can be seen for miles around the Seatown area has a slate roof and walls, so the theme of continuous slate roof and walls was by no means uncommon in the area. The lower ground floor walls are in white render to this property, however they are not at all apparent until within very close proximity of the site (see image 15 & 16).



Image 13. House type on Church Street, Seatown, Lossiemouth, bringing roof materials well below the wall lines



Image 14. House on junction of Commerce Street & High Street, Lossiemouth, introducing roof materials to walls



Image 17. West end of Dunbar Street - slate roofing material introduced to vertical walls

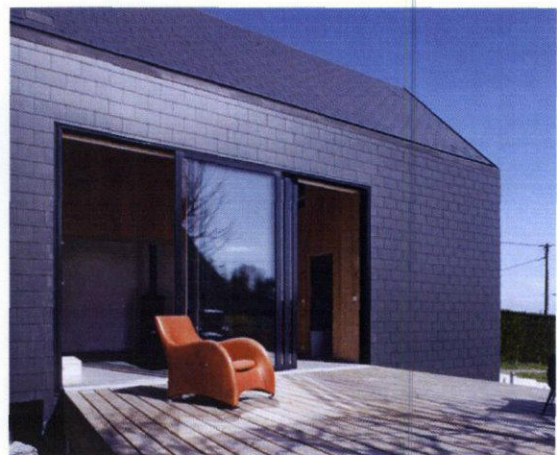


Image 18. Precedent study of house with matching slate walls & pitched roof





Image 15. New house with slate roof & walls viewed from afar over Lossiemouth Bay Caravan Park



Image 16. Only on close approach to building is it apparent that lower walls are finished in alternative material.

During the original application, the decision to apply the zinc material to the walls and roof was reached following a study of various properties around Lossiemouth. It was decided that as there was such a diverse mixture and colour of materials in the neighbourhood, including profiled metal in several locations close by, that a more metallic finish would be sought. This was apparent in an existing historic fishing / salt shed on James Street (see Image 19 & 20) and many homes in the Seatown area of Lossiemouth, where the metallic roof finish is folded down to form all or part of the wall condition (see Image 21).



Image 19. Corrugated metal historic fisherman's / salting shed in James Street (West)

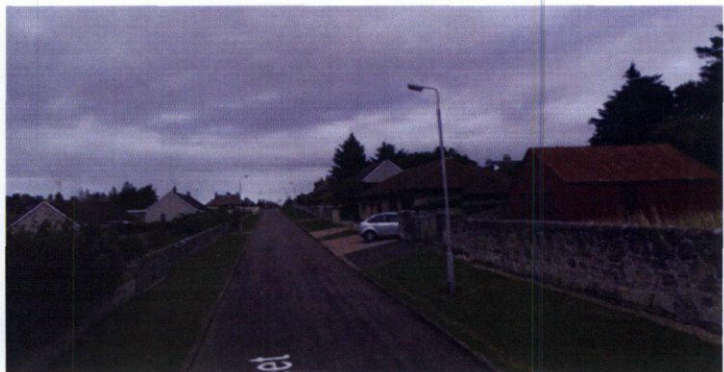


Image 20. Corrugated metal to roof & walls of fisherman's shed in context of James Street (West)





Image 21. Corrugated metal roof & wall clad house type in Church Street / Ogston Lane area



Image 22. Pan-tile roof and upper wall finish to house at far West end of James Street directly adjacent to site

It was also noted that one of the nearest properties to the site (directly to the South West of the site) had pan-tiles which were applied to both the roof and upper walls. This material is visibly the most prominent termination point to the West end of James Street (see Image 22 & 25).

However, as previously mentioned, we are prepared to accept that it is the planning department's opinion that the Zinc is not going to be appropriate in this location where only relatively old and traditional materials are apparent, and we would like to suggest the alternative of slate as a compromise.



## THE APPLICATION OF MATERIALS TO CLANCHATTAN



Image 25. View of protruding East Elevation (in grey slate cladding) from Eastwards of the site along James Street

It was indicated during the planning determination that the East Elevation would be of primary concern, with the large expanse of slate (previously zinc) being visible along James Street, however the above context model images hopefully illustrate that the roof and wall facing East will only be partially seen, and not nearly in their entirety. Only the very South edge will be visible (see Image 25). The roof and wall to the West will be largely concealed by the existing cottage and flat roof extension to the corner (see Image 26).



Image 26. West Elevation of existing fisherman's cottage in foreground, & the proposed homogenous slate roof & wall to the rear



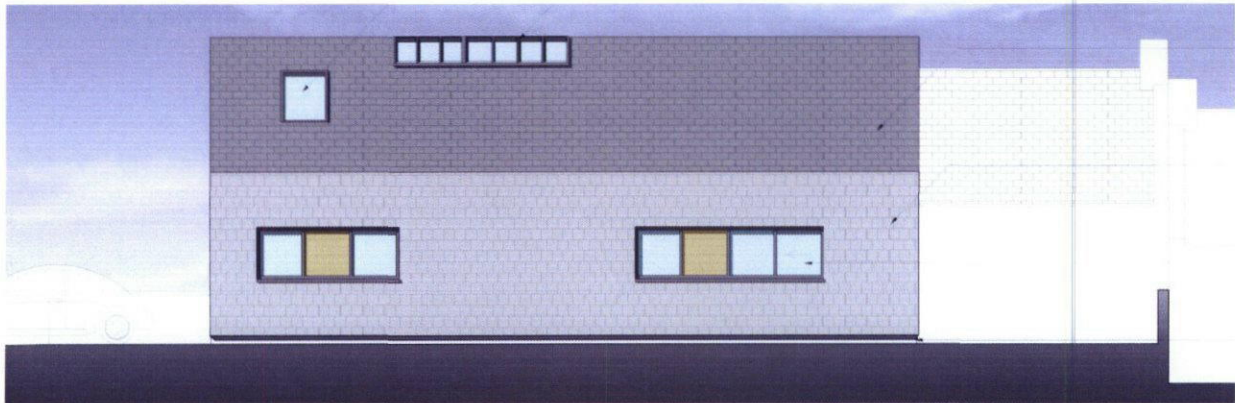


Image 27. East Elevation of proposed new pitched roof & wall, clad in slate - Note that neighbouring property on James Street & all vegetation has not been shown to give clear indication of extent of elevation - whole elevation not normally visible in its entirety from James St.

I also advised Mrs Anderson at an early stage that she should discuss the proposals with her neighbours, which she did. All those she spoke to were encouraging and complimentary towards the proposals with the roof and walls in the same material. In particular those who will regularly overlook the development, as well as a retired employee of the local planning department.

## CONCLUSION

The intention of the above appeal statement is purely an explanation as to how the design and material specification of the proposals have evolved. Hopefully this has gone some way to demonstrate that a great deal of thought and consideration has been paid to the local environment and the vernacular architecture of coastal villages on the Moray Firth. This was at the core of the client's brief.

We believe that the proposals make key references to the architecture of the surrounding area. As a local to Moray myself, I have a mutual passion with the client on the quality of the built fabric in the area, and we have both worked hard to provide what we believe would be a fantastic and innovative addition to the local townscape.

We truly believe that granting permission to allow continuous slate to both the new roof and walls would greatly reinforce the original concept which has been lauded by the planning department during the pre-application and the full planning determination, rather than the conditioned white rendered walls which we truly feels breaks up the powerful form of the wall and the roof into 2 separate elements, preventing the extruded North South form. Drawings of this alternative have also never been produced for a valid decision to be made.



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I would welcome the opportunity to meet and discuss the revised proposal in greater detail at your offices or on site.

Should you require any further information, please do not hesitate to contact me on 0131 - 260 3492.

Regards



Sandy Anderson, Principal block 9 ARCHITECTS